

BELLINGEN SHIRE COUNCIL



**BELLINGEN
SHIRE COUNCIL**

NOTICE OF DEVELOPMENT PROPOSAL

NOTICE OF PROPOSED DEVELOPMENT

Application No: 2021/DA-00041
Address: Lot 6 Section 19 DP 759026, 4241 Giinnagay Way, URUNGA NSW
2455
Description: Change of Use
Submissions Close: 9th August 2023

Council would like to advise you that the above Development Application has been lodged.

The applicant is: **DA Planning – Jodie Russell**

It is Council's practice to notify adjoining property owners and residents when Development Applications are received. This provides an opportunity for owners and residents to identify issues of concern in relation to the proposed development for Council's consideration.

To view the plans, associated documents and to follow the progress of the Development Application, visit the Public Exhibition on Council's website:

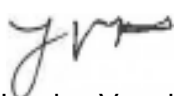
<https://www.bellingen.nsw.gov.au/Your-Council/Council-News-Updates/Items-on-Public-Exhibition>

Submissions may be lodged via email: council@bellingen.nsw.gov.au or via post. Please ensure the application number is provided, the property on which the development is proposed and the reasons for your concerns are made clear in your submission. Submissions must be lodged by the submissions close date above.

Your submission will be formally acknowledged and will be made publicly available, unless otherwise advised. Any objections received will be addressed in the assessment report prepared by Council as part of the assessment process. All persons who make a submission will be advised of the outcome of this Development Application.

Enquiries regarding this Development Application may be made to the undersigned on (02) 6655 7300.

Yours faithfully



Jessica Veenhuizen

DEVELOPMENT PLANNER



BELLINGEN SHIRE COUNCIL

ABN: 26 066 993 265

PO Box 117, BELLINGEN NSW 2454

Phone: 02 6655 7300

Office Use Only



Application Form

General Requirements

- The Application Guide, available electronically or at the front counter, can be used to help determine the type of approval that the proposal will require.
- Council will not accept incomplete applications. It is the responsibility of the applicant to ensure required information is provided.
- Tick the boxes and fill out the sections as appropriate.
- Review and submit all the plans and documentation required to support the application.
- This form may be used for a single or combined application. Advice on the combining of applications should be first sought from Council prior to making an application(s).
- Fees **must** be paid at time of lodgement.

Privacy Notice The personal information provided may be available for public access and/or disclosure under various NSW Government legislation. For further information please contact Customer & Business Services.

Office Use Only	DA No: _____	CC No: _____	CDC No: _____	FILE No: 2021/AF-00067
	MD No: _____	LG No: _____	BC No: _____	
	SC No: _____	RW No: _____	VP No: _____	APPN ID: 66496
	SWC No: _____		DATE REC'D: 24/3/21	
PROPERTY ID: L 8783				

1 PROPERTY DETAILS (THE FOLLOWING DETAILS MUST BE COMPLETED)

Lot No	Deposited Plan No	Strata Plan No	Section No
6	759026		19
Address No	Street/Road Name		
4241	GINNAGAY WAY		
Town/Locality			Postcode
URUNGA			2455

USE OF LAND AND BUILDINGS (Please describe, eg vacant land; dwelling; etc)

CAFE AND RETAIL SHOP

2 APPLICATION SUMMARY TYPE OF WORK PROPOSED (PLEASE TICK THE RELEVANT BOXES)

<input type="checkbox"/> Building Works – New	<input type="checkbox"/> Building Works – Additions/Alterations	<input type="checkbox"/> Advertising Sign/s <small>(Also complete attachment)</small>
<input type="checkbox"/> Demolition	<input type="checkbox"/> Subdivision / Boundary Adjustment	<input checked="" type="checkbox"/> Change of Use
<input type="checkbox"/> Earth Works	<input type="checkbox"/> Works in Road Reserve	<input type="checkbox"/> OSMS
<input type="checkbox"/> Tree Removal/Pruning <small>(Also complete attachment)</small>	<input type="checkbox"/> Activities & Events etc	<input type="checkbox"/> Other

DESCRIBE THE WORKS

CHANGE OF USE FROM RETAIL SHOP TO CAFE AND RETAIL SHOP

VALUE OF WORKS

\$ N/A

AND

NO OF ADDITIONAL LOTS

(Relates to subdivision of land)

3 APPLICANT DETAILS

APPLICANT NAME(S)

[REDACTED] - JODIE RUSSELL

Postal Address	Postcode
[REDACTED]	2454

E-mail Address	Home Phone
[REDACTED]u	

Business Phone	Business Fax	Mobile Phone
[REDACTED]		[REDACTED]

I/we the applicants declare to the best of my/our knowledge and belief that all the particulars hereon are correct in every detail and the information required has been supplied. I/we also hereby consent to the Bellingen Shire Council displaying and copying the application/s and supporting documentation, including designs, for the purposes of seeking public comment, when necessary.

Signature(s)	Date
[REDACTED]	15/2/2021

4 OWNER CONSENT DETAILS

ALL owners **must** complete this section. Where the owner is a corporation, the company seal must be applied and a statement of the capacity of the person signing the application. If you have recently purchased the land, you must provide a Certificate of title or Transfer Certificate showing the transferor, transferee and the current Lot and DP number of the property.

I/we the owners of the land to which the application/s apply hereby consent to the making of the application/s, and hereby grant to the council the power to enter and carry out inspections in relation to any land or building relating to the application/s.

OWNER(S) NAME

Address No	Street/Road Name	Town/Locality	Postcode

E-mail Address	Phone

Signature(s)	Date

OWNER(S) NAME

Address No	Street/Road Name	Town/Locality	Postcode
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

E-mail Address	Phone
[REDACTED]	[REDACTED]

Date
15/2/2021

5 TYPE OF APPLICATION

(PLEASE TICK THE TYPE OF APPLICATIONS BEING LODGED)

(A) CONSENTS/CERTIFICATES ISSUED UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT

Complying Development Certificate *(Please tick one of the following boxes to indicate the Environmental Planning Instrument, you will also need to complete Section 7)*

- SEPP (Exempt and Complying Development Codes) 2008
- SEPP (Affordable Rental Housing) 2009
- SEPP (Temporary Structures) 2007
- SEPP (Infrastructure) 2007

Modification to Complying Development Certificate (CDC No: _____)

Standard Development Consent

Modification of Development Consent (DA No: _____)

(Attach document outlining the nature of modification proposed)

Designated Development Consent

Integrated Development Consent *(Please indicate under which Act the licences/permits are required)*

- Fisheries Management Act 1994 [] s144 [] s201 [] s205 [] s219
- Heritage Act 1977 [] s58
- National Parks & Wildlife Act 1974 [] s90
- Protection of the Environment Operations Act 1997 [] ss43(a), 47 & 55 [] ss43(b), 48 & 55
[] s43(d), 55 & 122
- Rural Fires Act 1997 [] s100B
- Roads Act 1993 [] s138
- Water Management Act 2000..... [] s91

Permit to Clear Vegetation *(Made pursuant to Clause 10 of State Environmental Planning Policy (Vegetation in Non Rural Areas) (2017) & Chapter 6 of Bellingen Shire Development Control Plan 2017.)*

Subdivision Certificate

Subdivision Works Certificate

Construction Certificate *(If you tick this box you will need to complete Section 7)*

Modification of Construction Certificate (CC No: _____)

(B) APPROVALS ISSUED UNDER THE LOCAL GOVERNMENT ACT 1993 (SECTION 68)

Install/alter and operate a sewerage management system **Carry out stormwater works**

Carry out sewerage works

Carry out water supply works (eg install a water meter)

[] Domestic

[] Other size *(please specify)* _____

Other *(Please specify eg. operation of a caravan park, sale of goods in a public place)* _____

(C) APPROVALS ISSUED UNDER THE ROADS ACT 1993 (SECTION 138)

Roads Act Consent

Proposed works or use of the road reserve: _____

6 FORWARDING INSTRUCTIONS (PLEASE PROVIDE INSTRUCTIONS FOR FORWARDING THE DETERMINATION)

Post to Applicant **Pick Up** (Phone No: _____)

7 BUILDING DETAILS

Please complete **ONLY** if you require a construction certificate or complying development certificate.

CLASSIFICATION: (AS PER BUILDING CODE OF AUSTRALIA)

BUILDER/COMPANY NAME

Address No.	Street/Road Name	Town/Locality	Postcode

E-mail Address _____

Licence No.	Business Phone	Mobile Phone

PLUMBER/WASTEWATER CONSULTANT

Address No.	Street/Road Name	Town/Locality	Postcode

E-mail Address _____

Licence No.	Business Phone	Mobile Phone

8 BUILDING SUSTAINABILITY INDEX (BASIX)

BASIX Certificate supplied (see application guide for further details)

9 CONSTRUCTION DETAILS (REQUIREMENT OF THE ABS)

No of existing dwellings on the land on which the new building is to be erected? _____

No of existing dwellings to be demolished in connection with the erection of the new building? _____

Does the land contain a dual occupancy? _____

STRUCTURE 1**Description of new building** (eg dwelling, shop, garage, shed or carport)

No of dwellings included in the new building

Value of new work \$ (including GST)

Is the building to be attached to any existing building?

Is the building to be attached to any other new building?

No of storeys (including underground)

New floor area created by the building work (does not include area of unenclosed carports, verandahs etc)..... m²**Floor**

- 20.... concrete or slate
40.... timber
80.... other
90.... not specified

Frame

- 40.... timber
60.... steel
70.... aluminium
80.... other
90.... not specified

Walls

- 11.... brick (double)
12.... brick (vener)
20.... concrete or stone
30.... fibre cement
40.... timber
50.... curtain glass
60.... steel
70.... aluminium
80.... other
90.... not specified

Roof

- 10tiles
20concrete or slate
30fibre cement
60steel
70aluminium
80other
90not specified

STRUCTURE 2**Description of new building** (eg dwelling, shop, garage, shed or carport)

No of dwellings included in the new building

Value of new work \$ (including GST)

Is the building to be attached to any existing building?

Is the building to be attached to any other new building?

No of storeys (including underground)

New floor area created by the building work (does not include area of unenclosed carports, verandahs etc)..... m²**Floor**

- 20.... concrete or slate
40.... timber
80.... other
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20.... concrete or stone
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40.... timber
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70.... aluminium
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90.... not specified

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- 10tiles
20concrete or slate
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90not specified



BELLINGEN SHIRE COUNCIL

ABN: 26 066 993 265

P O Box 117, BELLINGEN NSW 2454

Administration Office: (02) 6655 7300

Office Use Only

FILE No:
2021/AC-00067

DATE REC'D:

APPLICATION CHECKLIST PLANS AND DRAWINGS

General Requirements

PLAN SIZE : Please indicate the size of the plan. A2, A3, A4, etc.

- NO. OF COPIES : Please indicate the number of Sets of the Plan.
- PLAN TYPE : Please indicate by placing a tick in the appropriate Plan Box.

PLANS SUBMITTED	Sheet 1	Sheet 2	Sheet 3	Sheet 4	Sheet 5	Sheet 6	Sheet 7	Sheet 8	Sheet 9	Sheet 10
Plan size	A4	A4								
No. of copies	3	3								
Site	✓									
Floor (Residential) <i>Confidential</i>		✓								
Floor (Commercial)										
Elevations										
Plan view										
Sections										
Construction details										
Driveway										
Subdivision										
Survey										
Landscape										
Engineering										
Traffic										
Other (Indicate)										
Checked by:										

DEVELOPMENT APPLICATION

CHANGE OF USE

STATEMENT OF ENVIRONMENTAL EFFECTS

Lot 6 Section 19 DP759026
4241 Giinagay Way Urunga

February 2021
Ref: 1011

DA PLANNING
PO BOX 766
COFFS HARBOUR NSW 2450
Phone: 6655 9336
Email: info@daplanning.com.au

Site description & surrounding land uses

The subject site is zoned R1 – General Residential. It is currently used as a café and retail shop and is permissible with Council consent.

The properties surrounding the site are zoned R1 General residential and contain existing dwellings, except for the lot adjacent to the north to the site. This site was used previously as a service station and is currently not tenanted.



Figure 1: Aerial view
Source: Six Maps

Proposed development details

The site is currently used as a café and retail shop and consent is required by Council to allow for its continual use.

Type of business	Café and retail shop
Existing Use	Café and retail shop. See below for further details.
Hours of operation	Tuesday to Friday – 8 am to 2pm Saturday – 8am to 2pm Sunday – 8am to 1 pm Closed Monday
Number of Staff	During peak times, there may be three staff working
Facilities provided	There are toilet and handwashing facilities available for staff use.
Capacity	20 seats. See attached plan for current seating/table arrangements
Delivery arrangements	Delivery times vary according to the supplier. A majority of the deliveries are prior to opening.
Waste Management Details	See attached Waste Management Plan
Smoke Free Areas	See attached plan.
Water/sewer	Water and sewer connections are already in place.
Fire Safety Measures	A fire extinguisher is located in the kitchen and is serviced regularly
Signage details	No signage is proposed at this moment.
Staging	It is proposed to stage the development in two stages. See below for further details.
Car Parking	See attached the plan for proposed carparking arrangements. The area is bitumen sealed. The staff currently park at the rear of the café.

Stage 1:

Currently the café serves: Coffee, freshly prepared juices and smoothies, cakes/muffins, toasted sandwiches. All food is prepared and stored in accordance with the Food Safety Code.

A retail shop is located within the building for the sale of produce, skincare products and clothing.

It also proposed to hold live music events on Monday to Sunday between approximately 10 am and 1pm, but not necessarily every day. The day will be subject to the musician's availability.

Markets – It is proposed to hold market days on a Friday when there are 5 Fridays in the month.

Stage 2:

In addition to the above, it is proposed to have the following events.

Live music on a Friday night from 6.30pm until 9pm. To be held when there are 5 Fridays in the month. A liquor licence will be obtained so alcohol can be served at these events. Food will be provided, and further details will be provided for at a later stage.

It is proposed at a later stage to allow the capacity to be increased to above 20 patrons. Toilet facilities may be required to be provided for patron's use.

If there is a need to place furniture or signage on Council owned land, an application will be submitted to Council.

Waste Management Plan – Change of use.

The property already has an existing bin service. The bins are currently stored in the bin storage area located on the service station site. There is adequate room at the rear of the café to store bins if they are required to be removed.

The café currently has the following bins to service the cafe:

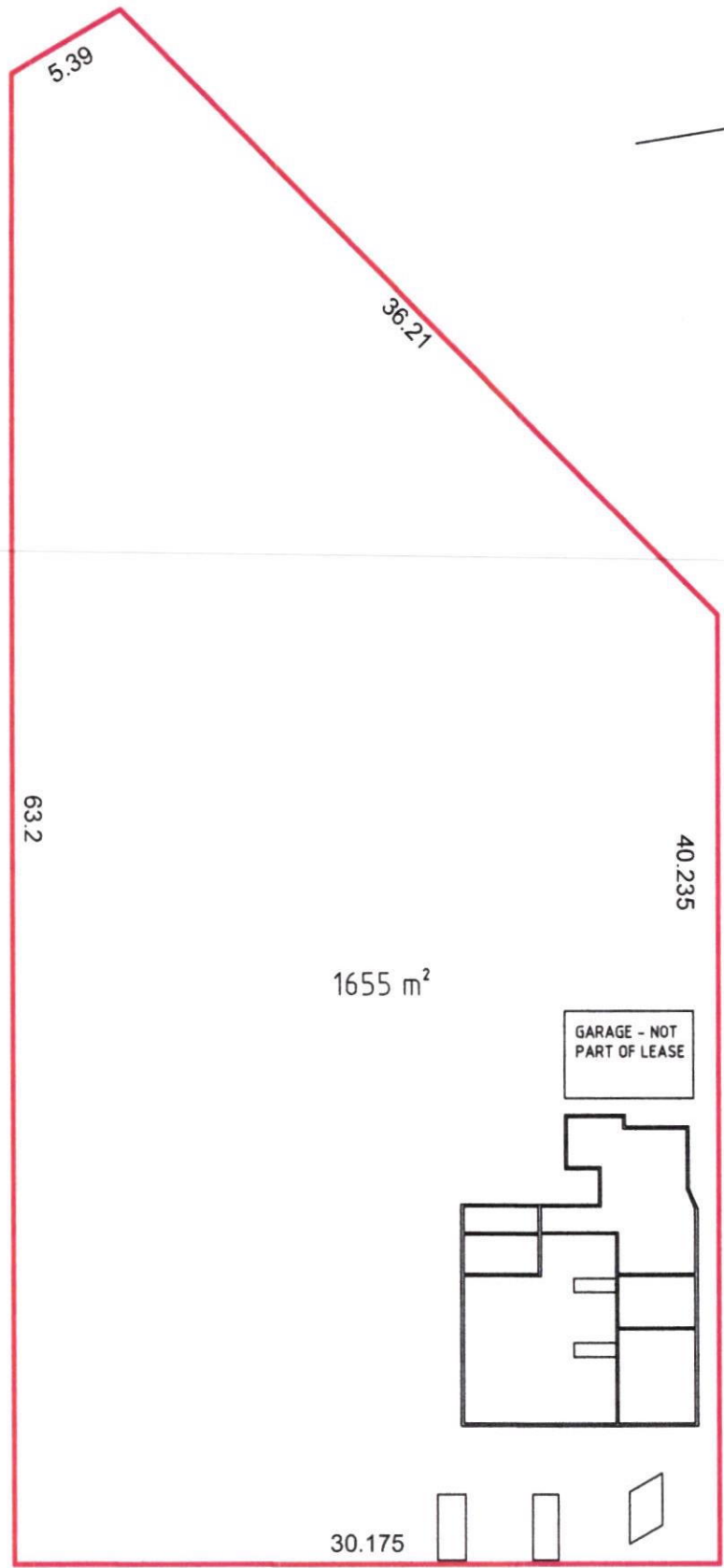
- 2 x 240 litre yellow bins for recycling
- 2 x 240 litre green bins for organic waste
- 2 x 240 litre red bins for general waste

There are additional bins within the bin storage area that belong to the service station.

They are also 2 x 240 litre red bins for general waste from Handybin Waste Services.

These bins are collected fortnightly by Handybin, so that there is a weekly general waste collection.

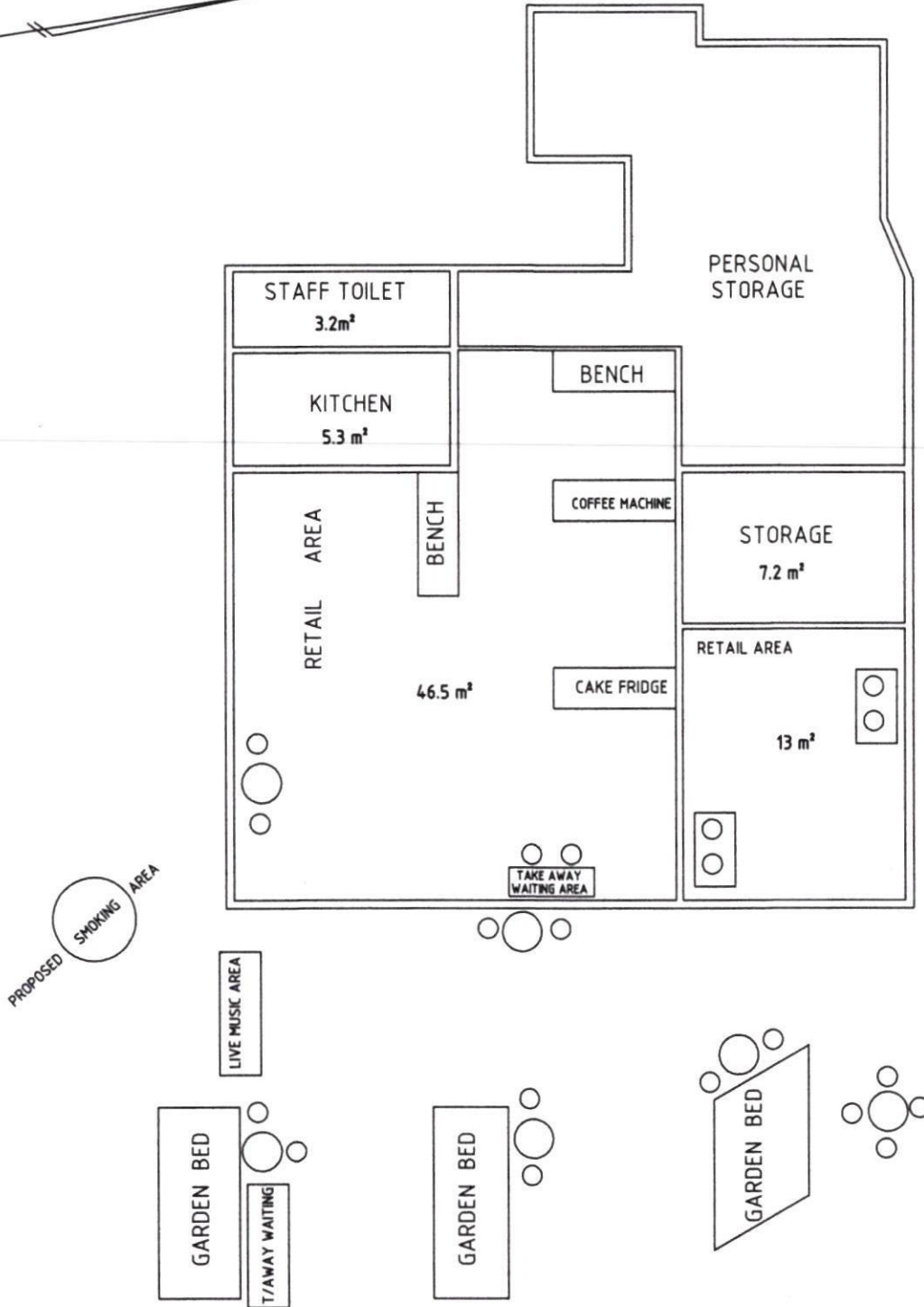
These above bins currently meet the waste generated by the café.



CLIENT: LIBERTY PROVIDORES
 REF: 1093
 DATE: FEB 2021

SITE PLAN
 LOT 6 SECTION 19 DP259026
 4241 GIINAGAY WAY URUNGA

STEVE RUSSELL SURVEYING
 P.O. BOX 766, COFFS HARBOUR N.S.W. 2450
 Phone: (02) 66 522 922
 email: srs@srsurveying.com.au



CLIENT: LIBERTY PROVIDORES
REF: 1093
DATE: FEB 2021

CAFE LAYOUT PLAN
LOT 6 SECTION 19 DP259026
4142 GIINAGAY WAY URUNGA

STEVE RUSSELL SURVEYING

P.O. BOX 766, COFFS HARBOUR N.S.W. 2450
Phone: (02) 66 522 922
email: srs@srsurveying.com.au



Traffic Plan of Management

For
Liberty Providores



Figure 1: Liberty Providores cafe - yellow building

Document Name:	Liberty Providores Urunga		Doc Ref:	21086	
Directory Path:	https://nambuccaeng-my.sharepoint.com/personal/tim_nambuccaeng_com/Documents/NAMBUCCA ENGINEERING/2021/21086 - Urunga Liberty Providores/21086 - Traffic Plan of Management - Liberty Providores.docx		Created By:	V. Lyzogub	
Revision:	1	Revision Date:	10/10/2022	Authorised By:	S. Cruwys
© Coffs Engineering Pty Ltd t/a Nambucca Engineering™					

1.0 INTRODUCTION

1.1 General

Nambucca Engineering has been engaged to assess and provide a solution to the current on-street parking for Liberty Providores, at 4241 Giinagay Way, Urunga, NSW, 2455. The scope of the plan considers customer parking, pedestrian access, staff and delivery vehicle parking and the impact on, and access to, neighbouring properties.

Liberty Providores is a small coffee shop serving light meals and beverages. It operates from an existing building that has housed various businesses over the decades, from fruit shops and general stores to antique and curiosities.

Locals know Liberty Providores is a convenient place to grab a coffee in a hurry or hang around and catch up with friends.

1.2 Location

Liberty Providores fronts Giinagay Way, which until July 2016 was the Pacific Highway. The road is sign posted 50km/h and typically experiences very low traffic volume as it predominately services local residents from the surrounding villages of Mylestom, Raleigh and Urunga, as well as tourists to the area.

Residents and tourists typically access Urunga via Bellingen St or Ferry St to the north of Liberty Providers or Plot Rd to the south. Figure 3 shows the location of Liberty Providores with respect to Urunga.

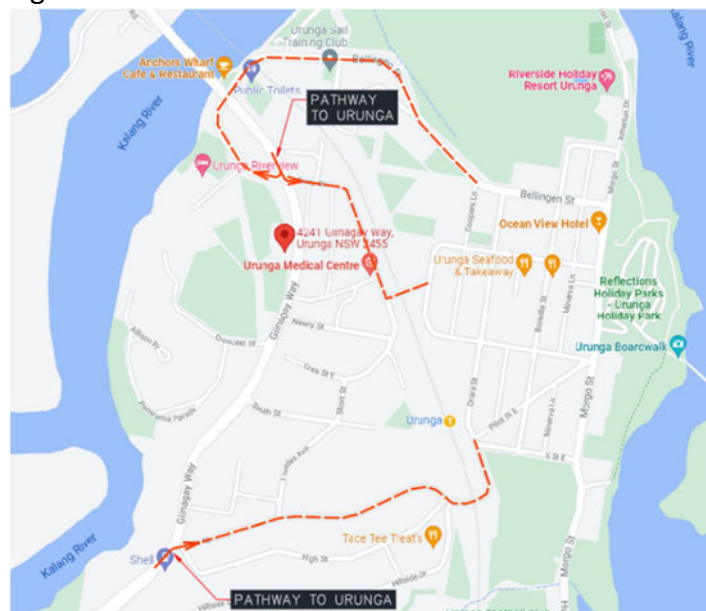


Figure 2: Resident and Tourist access to Urunga village

Connectivity to the Pacific Motorway at Ballards Rd Interchange to the south and Waterfall Way and Mailman’s Track interchanges to the north means Giinagay Way at Urunga no longer receives commuter traffic travelling through to other destinations.

Figure 4 shows connectivity to Pacific Motorway.

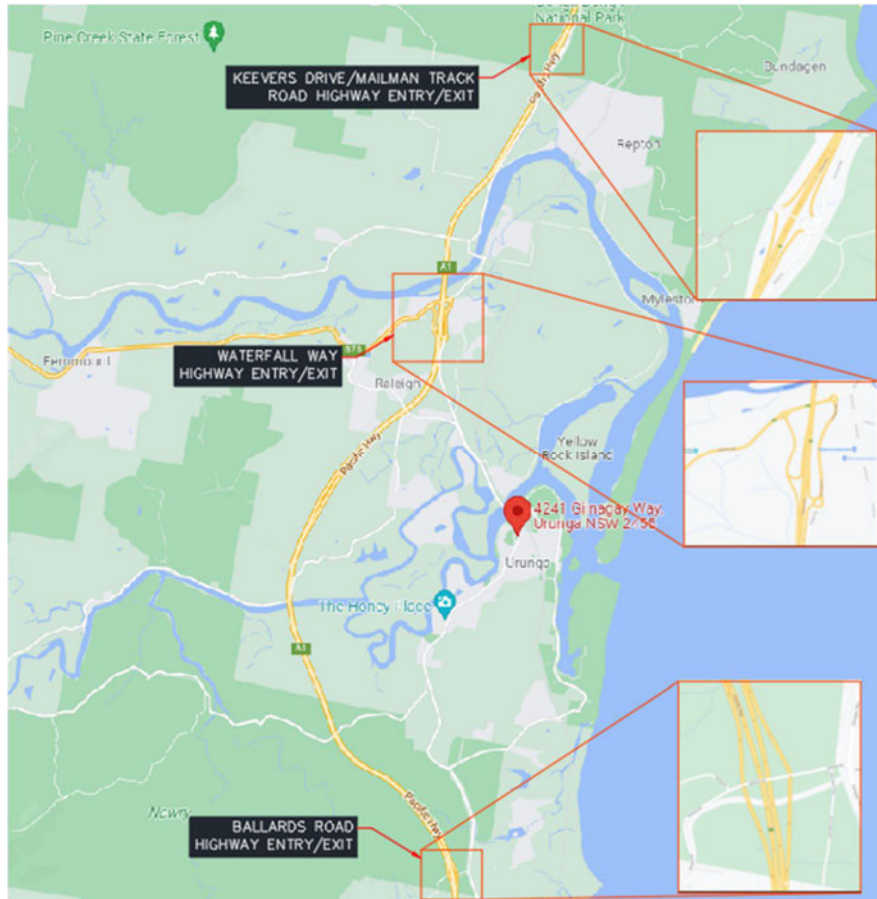


Figure 3: Urunga & surrounding villages connectivity to Pacific Highway.

Immediately adjacent to the property is a shuttered and defunct service station due to more convenient petrol stations 1.8km to the north (BP, Giinagay Way Urunga) and 700m to the south (SHELL, Giinagay Way, Urunga).

2.0 SCOPE OF WORK

2.1 General

The design considerations included:

- Six (6) parking spots to **AS2890.5 Parking Facilities Part 5: On-street parking** and to Council Requirements
- One (1) accessible parking space to **AS2890.5 Parking Facilities Part 5: On-street parking**
- Pedestrian safety

- Proposed delivery vehicle loading and offloading bay as well as manoeuvring areas to accommodate for the turning radius.
- Nominated staff car parking areas, and
- Dimensions of the existing tree and driveways within the verge

These are included in the Nambucca Engineering Job No. 21086 C01, C02 & C03 drawings, hereafter referred to as “the drawings”.

3.0 TRAFFIC MANAGEMENT

3.1 Customer Parking

Nambucca Engineering propose that six (6) carparks and one (1) disabled access carpark required by Bellingen Shire Council be located as shown on drawing C03 – Parking Plan

The car parks have been set back from the café for the following reasons.

- Provide open space for pedestrians between the parked cars and café.
- Provide traffic approaching from the south with an unobstructed view of the rear of the parked vehicles.

The existing gum tree obstructs the sight lines of cars reversing out of the first two spaces. However, as the rear of the vehicle approaches the fog line of Giinagagy Way, their view of approaching traffic is unobstructed.

The Disabled Access parking space has been located two (2) parking spaces away from the tree so that it is outside the drop zone of the tree but still close to the café entry.

3.2 Pedestrian Safety

Pedestrian safety shall be managed utilising the following tools and strategies (refer to the drawings for more details):

- Parking spaces are set back from the café to provide ample safe passage and seating arrangements, while also providing unobscured sightlines for approaching traffic.
- The parking spaces include wheel stops, parking dots and line marking, chevron and bollard as described in **AS2890.1 Parking Facilities Part 1: Off-street car parking**, **AS2890.5 Parking Facilities Part 5: On-Street parking** and **AS2890.6 Parking Facilities Part 6: Off-street parking for people with disabilities**

3.3 Vehicle Access to Adjoining Property

Vehicle access to the adjoining property is maintained at the northern end of the marked parking bays and a “NO PARKING” added.

3.4 Properties Opposite Liberty Providores

“No Parking” signage as per **AS1742.11 Manual of uniform traffic control devices Part 11: Parking Controls** is proposed to be erected on the opposite side of the road to prevent customers parking across the resident’s driveways.

3.5 Staff and Delivery Parking

Staff carparking is proposed to be located immediately to the south of the café building as unmarked parking spaces. Two to three staff vehicles are expected daily.

The delivery vehicles shall have an unmarked unloading zone to the south of the car park as shown on the drawings.

It is recommended that Liberty Providores encourage their delivery drivers to park as far south as possible to improve the sight lines for vehicle exiting the car park.

The expected delivery schedule is provided below. Typical delivery stops are less than ten (10) minutes.

- K’Pane’ – once daily in a small minivan
- Coffs Providores – 2-3 times per week (refer to **Figure 4**)
- Hearthfire – twice weekly in a minivan
- Celestial Roots -every 2 months in a car
- JR Parry – 3 times per week in a small Norco van (refer to **Figure 4**)
- Tutti Fruitty – 3-4 times per week (refer to **Figure 4**)
- Yamstick - fortnightly in a minivan



Figure 4: Delivery vehicle to Liberty Providores

The Staff and delivery parking is proposed to be managed by:

- providing and communicate the Parking Plan (C03) to all staff and delivery drivers
- obtaining written confirmation they understand the Parking Plan (C03), and will not use customer parking spaces or block access to neighbouring properties.

Suppliers delivering in the small trucks shown in Figure 4 must approach from the south and park just off the road shoulder, as shown on plan C02 - Delivery Vehicle Plan.

The garden bed surrounding the gum tree will need to be removed to maximise space for the small trucks re-enter the traffic lane.

4.0 Action Plan

The following action plan is recommended to improve parking and access to Liberty Providores and surrounding residences.

1. Install parking dots/line marking, wheel stops, bollard and signs as per plan C01 – Property Access & Civil Plan.
2. Provide and communicate the parking plan (C03) to all staff and delivery drivers. A sign off sheet is provided to record the training for each staff member and delivery driver.
3. Keep the Parking Plan (C03) and sign off sheet on site and communicate to all new staff and delivery drivers.

5.0 Conclusion

Liberty Providores fronts Giinagay Way, which at this location is a low volume road due to the surrounding road network providing bypasses to other places of interest.

Implementing the proposals of this plan will improve the parking and access to Liberty Providores and the surrounding residences.

Attachments

Parking Plan C01 – Property Access & Civil Plan

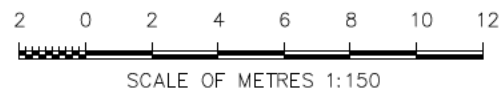
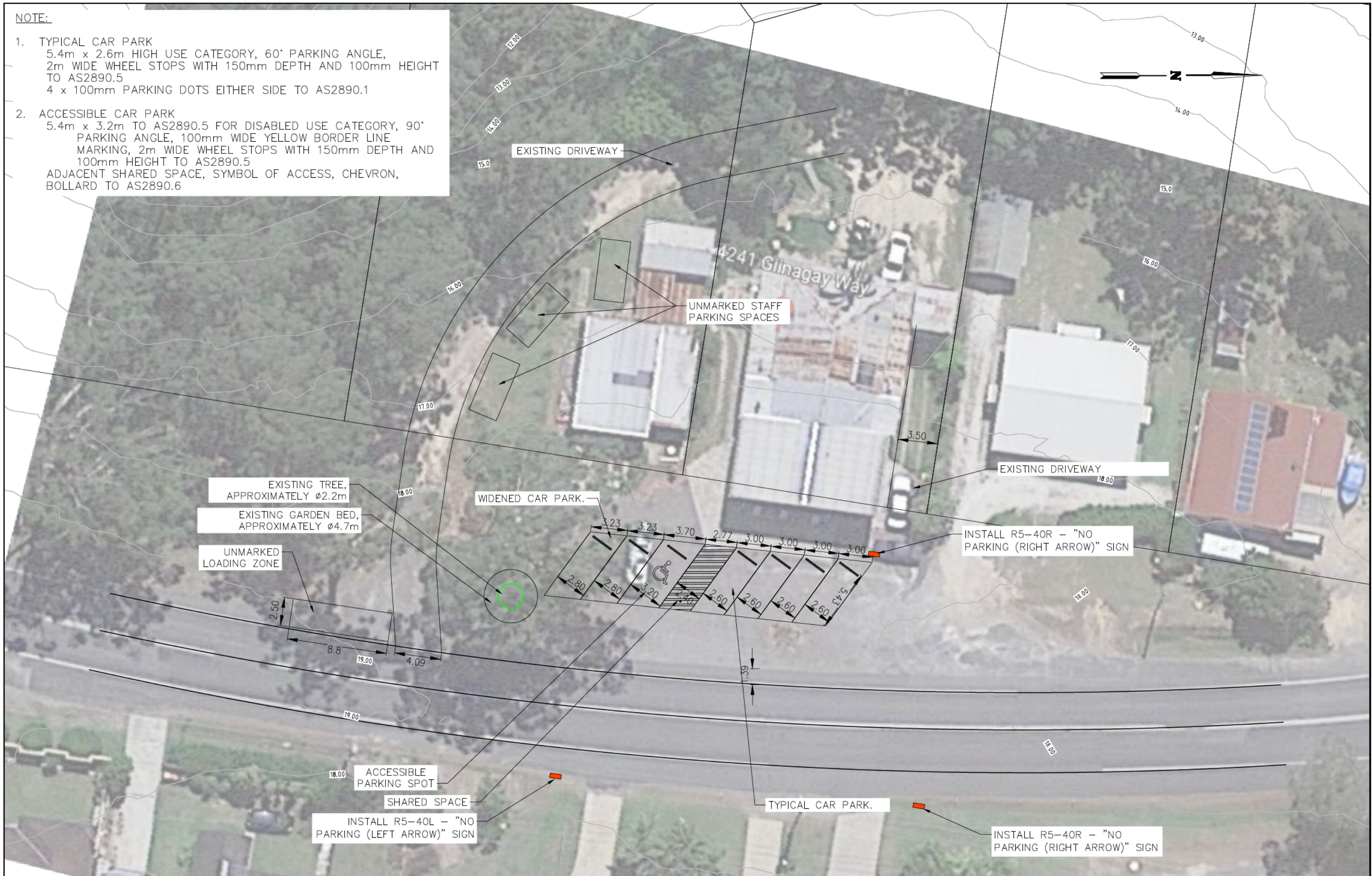
Parking Plan C02 – Delivery Vehicle Turning Plan

Parking Plan C03 – Parking Plan

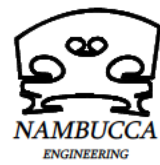
Consultation for Liberty Providores Parking plan – Sign off sheet

NOTE:

1. TYPICAL CAR PARK
5.4m x 2.6m HIGH USE CATEGORY, 60° PARKING ANGLE,
2m WIDE WHEEL STOPS WITH 150mm DEPTH AND 100mm HEIGHT
TO AS2890.5
4 x 100mm PARKING DOTS EITHER SIDE TO AS2890.1
2. ACCESSIBLE CAR PARK
5.4m x 3.2m TO AS2890.5 FOR DISABLED USE CATEGORY, 90°
PARKING ANGLE, 100mm WIDE YELLOW BORDER LINE
MARKING, 2m WIDE WHEEL STOPS WITH 150mm DEPTH AND
100mm HEIGHT TO AS2890.5
ADJACENT SHARED SPACE, SYMBOL OF ACCESS, CHEVRON,
BOLLARD TO AS2890.6



REV.	DATE	REVISION	DR BY	AP BY
C	01/09/22	MOVED SHARED SPACE BOLLARD	VGL	FSC
B	16/06/22	AMMENDMENT TO PARKING	VGL	FSC
A	10/12/21	CONCEPT PLAN	VGL	FSC



Steve Cruwys
MIE Aust CP Eng
A.B.N. 12 647 517 913
3A Nyora Close,
Coffs Harbour NSW 2450
Phone: 0420996264
Email: steve@nambuccaeng.com
Web: www.nambuccaeng.com

Datum	AHD	File	21086 - CIVIL REV B.dwg
Approved	FSC	Survey	AHD
Designed	VGL	Scale	AS SHOWN @ A1
Drawn	VGL	Date	NOV 2021

Project:
ON-STREET PARKING:
4241 GIINAGAY WAY,
URUNGA, NSW, 2455

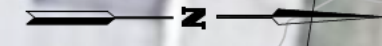
Client:
DA PLANNING

Drawing Title:
PROPERTY ACCESS &
CIVIL PLAN

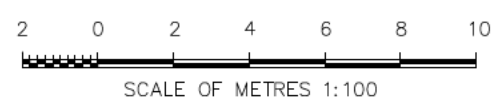
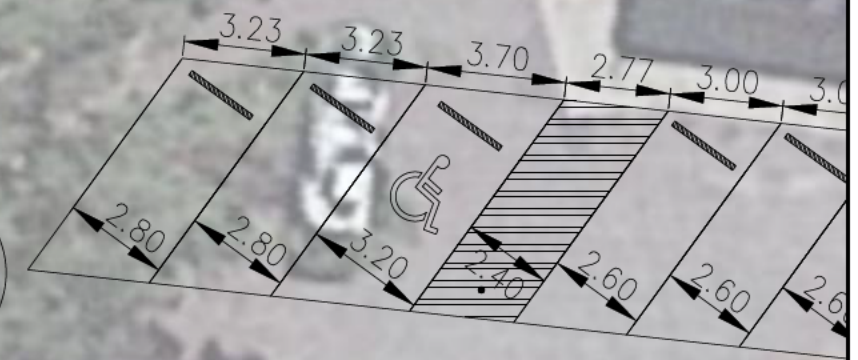
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Job No.	21086
Drawing No.	C01
Amendment No.	0

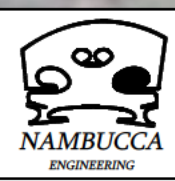
SMALL TRUCK DELIVERY VEHICLES
MUST APPROACH FROM THE SOUTH



SOUTH TO NORTH DELIVERY
VEHICLE MANEUVERING



REV.	DATE	REVISION	DR.BY	AP.BY
C	01/09/22	MOVED SHARED SPACE BOLLARD	VGL	FSC
B	16/06/22	AMMENDMENT TO PARKING	VGL	FSC
A	10/12/21	CONCEPT PLAN	VGL	FSC
		REVISION		



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Datum	AHD	File	21086 - CIVIL REV B.dwg
Approved	FSC	Survey	AHD
Designed	VGL	Scale	AS SHOWN @ A1
Drawn	VGL	Date	NOV 2021

Project:
ON-STREET PARKING:
4241 GIINAGAY WAY,
URUNGA, NSW, 2455

Client:
DA PLANNING

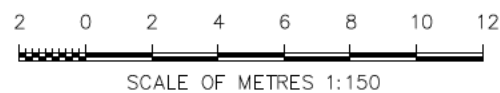
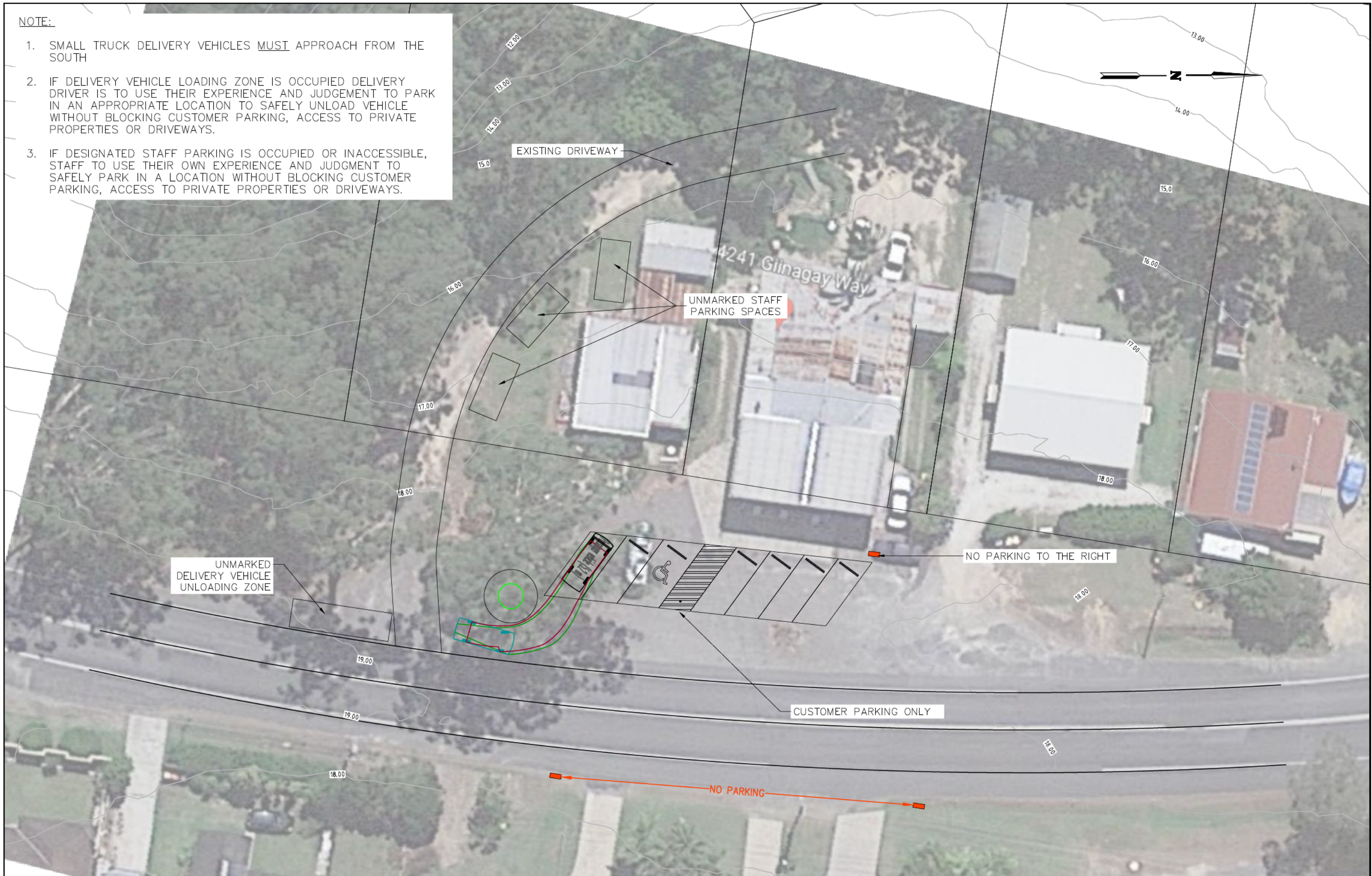
Drawing Title:
DELIVERY VEHICLE
TURNING PLAN

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Job No. 21086
Drawing No. C02
Amendment No. 0

NOTE:

1. SMALL TRUCK DELIVERY VEHICLES MUST APPROACH FROM THE SOUTH
2. IF DELIVERY VEHICLE LOADING ZONE IS OCCUPIED DELIVERY DRIVER IS TO USE THEIR EXPERIENCE AND JUDGEMENT TO PARK IN AN APPROPRIATE LOCATION TO SAFELY UNLOAD VEHICLE WITHOUT BLOCKING CUSTOMER PARKING, ACCESS TO PRIVATE PROPERTIES OR DRIVEWAYS.
3. IF DESIGNATED STAFF PARKING IS OCCUPIED OR INACCESSIBLE, STAFF TO USE THEIR OWN EXPERIENCE AND JUDGMENT TO SAFELY PARK IN A LOCATION WITHOUT BLOCKING CUSTOMER PARKING, ACCESS TO PRIVATE PROPERTIES OR DRIVEWAYS.



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Project:
**ON-STREET PARKING:
 4241 GIINAGAY WAY,
 URUNGA, NSW, 2455**

Client:
DA PLANNING

Drawing Title:
PARKING PLAN

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Job No. 21086
 Drawing No. C03
 Amendment No. 0

