



Bellingen Shire Development Control Plan 2017

Chapter 15 **Heritage**

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Table of Amendments

Amendment	Date Adopted	Date Commenced
Minor review of DCP - DCP 2017 replaces DCP 2010	22 November 2017	6 December 2017

15.1 Aims

The aims of this chapter are to:

- a) To encourage the conservation of the environmental heritage of the area;
- b) To establish the controls for development affecting places of heritage significance within Bellingen Shire;
- c) To ensure that development related to heritage items and the conservation area is sympathetic to their heritage significance;
- d) To prevent the undertaking of development that results in poor visual, vehicular and environmental outcomes which are not sympathetic with the heritage significance;
- e) To ensure that conservation meets the design principles of the Burra Charter.

15.2 Where This Chapter Applies

This Chapter applies to heritage items and conservation areas, and to places within the vicinity of such items and areas, within Bellingen Local Government Area as identified in Schedule 5 (Environmental Heritage) of the Bellingen Local Environmental Plan 2010 (BLEP 2010).

This chapter may also apply to land that has not been formally identified as containing a heritage item, however nonetheless contains items of potential heritage value that are worthy of protection

15.3 When This Chapter Applies

This chapter applies when any Development Application is received by Council that proposes works to or in the vicinity of a heritage item or within a Conservation Area.

Note: Works that require development consent are specified in Clause 5.10(2) of BLEP 2010 and would generally include excavation, demolition, the removal of trees, the erection of a new structure, alterations or additions to a structure or the erection of structures that are normally ancillary to the use of the land such as sheds, detached garages or the like.

Note: Clause 5.10(3) of BLEP 2010 specifies that consent may not be required for certain minor works if confirmed in writing by Council. The Bellingen Shire Council “Heritage Listed Weeds Policy” provides one avenue for use of these provisions.

Note: State Environmental Planning Policy (Exempt & Complying Development Codes) 2008 may allow for certain works to occur without the need for development consent.

15.4 Variations

Council may consider variations to the standards required of development in this chapter when the overall aims of this chapter and any specific aims that may be detailed for that particular standard – such as the protection and enhancement of heritage significance, can be achieved.

15.5 How To Use This Chapter

This chapter is designed to ensure ease of use by applicants and consent authorities. The relevance of certain subsections to certain works is confirmed in the table below.

Subsection	Relevance
Subsection 15.7 – Design & Practice Principles	All works
Subsection 15.8 – Heritage Items - Development Objectives & Controls	Works affecting Heritage Items including those within the Conservation Area.
Subsection 15.9 – Development in the vicinity of heritage items and the Bellingen Conservation Area	Works in the vicinity of Heritage Items and the Bellingen Conservation Area
Subsection 15.10 - Development in the Bellingen Conservation Area	Works within the Bellingen Conservation Area (Including works affecting individually listed heritage items within the Bellingen Conservation Area)
Subsection 15.11 – Shire wide Conservation Issues	Works affecting items listed as cultural plantings, street trees, avenue plantings, windbreaks, Natural vegetation, remnant vegetation, scenic views, riverbank vegetation and the like.

15.6 Definitions

Definitions of terms used within this chapter are the same as those contained within Bellingen Local Environmental Plan 2010. Key terms used within this chapter, and extracted from BLEP 2010, are reprinted below and identified accordingly. Where relevant, additional definitions are included from the Australian ICOMOS Charter for the Conservation of Places of Cultural Significance 1999 (Burra Charter).

Adaptation means modifying a *place* to suit the existing *use* or a proposed use.

Burra Charter and its guidelines, means the charter adopted by Australia ICOMOS which establishes the nationally accepted principles and process for the conservation of places of cultural significance.

Compatible use means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Conservation means all the processes of looking after a *place* so as to retain its *Cultural significance*.

Fabric means all the physical material of the *place* including components, fixtures, contents and objects.

Heritage conservation area means an area of land of heritage significance:

- a) shown on the Heritage Map as a heritage conservation area, and
- b) the location and nature of which is described in Schedule 5, and includes any heritage items situated on or within that area. (BLEP 2010)

Heritage conservation management plan means a document prepared in accordance with guidelines prepared by the Division of the Government Service responsible to the Minister administering the *Heritage Act 1977* that documents the heritage significance of an item, place or heritage conservation area and identifies conservation policies and management mechanisms that are appropriate to enable that significance to be retained. (BLEP 2010)

Heritage impact statement means a document consisting of:

- a) statement demonstrating the heritage significance of a heritage item or heritage conservation area, and
- b) an assessment of the impact that proposed development will have on that significance, and
- c) proposals for measures to minimise that impact. (BLEP 2010)

Heritage item means a building, work, place, relic, tree, object or archaeological site the location and nature of which is described in Schedule 5. (BLEP 2010)

Note: An inventory of heritage items is also available at the office of the Council.

Heritage management document means:

- a) a heritage conservation management plan, or
- b) a heritage impact statement, or
- c) any other document that provides guidelines for the ongoing management and conservation of a heritage item, Aboriginal object, Aboriginal place of heritage significance or heritage conservation area. (BLEP 2010)

Heritage map means the Bellingen Local Environmental Plan 2010 Heritage Map. (BLEP 2010)

Heritage significance means historical, historical – association, scientific, cultural, social, archaeological, architectural – aesthetic or natural value. (BLEP 2010)

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves *restoration* or *reconstruction*.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

State Heritage Inventory means the standard format established by the Heritage Division of the Office of Environment and Heritage for use by Councils in recording the details of properties, buildings and items having heritage significance. The copy of the Inventory held by Council reflects the results of the 1991 base Heritage Study (revised 2009).

Use means the functions of a place, as well as the activities and practices that may occur at the place.

15.7 Design and Practice Principles

The aim of this DCP is to retain the cultural significance of heritage items and conservation areas, their settings and curtilage. The following design and practice principles are to be observed, where relevant, for all development requiring consideration pursuant to this chapter.

15.7.1 Authenticity

Original fabric that contributes to the significance of a heritage place will:

- 1) Be retained in situ;
- 2) Be maintained in a sound and stable condition, however maintenance should not remove signs of wear and tear;
- 3) Be removed only when there is a firm proposal to restore or replace something in the same location or where specifically identified for removal

after a heritage assessment. Original fabric which is removed should be kept on site for future reference or possible reinstatement and must be adequately recorded before removal, in accordance with the Heritage Division Guidelines;

- 4) Be accurately reconstructed based on historic research of a particular building;
- 5) Not be fundamentally altered by new work.

Traditional materials and techniques such as lime mortar and timber should be used for the repair and alterations wherever possible, with modern materials such as steel used only where supported through good conservation and structural practice.

15.7.2 Streetscape

Development should be designed to minimise any effect on the heritage significance of the heritage item or the conservation area and ensure that the significant character is maintained. The design of new buildings and structures should complement the existing streetscape.

Development should be consistent with the heritage themes of the streetscape. The following components of a streetscape are to be considered to ensure development complements the character and heritage significance of established streetscapes:

- a) front setback;
- b) materials, colours and textures;
- c) roof form and pitch;
- d) scale, height and proportion of buildings;
- e) landscaping and garden treatment;
- f) spaces between buildings;
- g) façade treatment, verandahs and window placement;
- h) height and design of fences;
- i) placement and design of garages, carports and driveways;
- j) existing street trees; and
- k) balance between solid walls and openings.

Where a new building or an extension to an existing building is proposed in a street which is predominantly single storey, the proposal should also be single storey. Where the land is sloping, split levels will be considered. In some instances, the utilisation of roof space for a second storey will be considered where it can be satisfactorily accommodated.

Driveway treatments for new development should be similar to that which is characteristic of the streetscape.

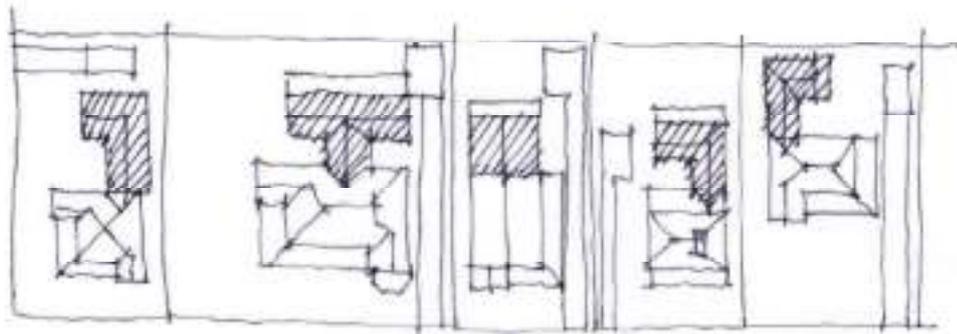


Figure 15.1: Extensions to existing buildings are best placed to the rear using linked pavilions, skillions and sympathetic formal construction.

15.7.3 Infill

New development, including new buildings and landscaping should respond to the significant patterns and significant character of the Conservation Area and sites adjoining heritage items and contributory items.

Character and Style

New development should reflect the character and style of adjacent and surrounding significant development to achieve visual continuity and harmony.

Scale

New development should be designed to reflect the scale of adjacent and surrounding significant development in terms of height, size and proportions to ensure that new buildings do not dominate significant buildings and items.

The average height in the street should therefore be used to determine height limits.

Form and Massing

New development should identify and reflect the predominant form and massing of existing development within the streetscape in particular significant heritage items.

Close attention should be paid to the shape, pitch and form of the roof. A traditional roof pitch is typically 35 degrees. Consideration should be given to the siting in terms of ridge or parapet lines and patterns such as the size and shape of openings, chimneys, verandahs and other architectural elements.

Setback and Orientation

New development should be a sympathetic addition to the streetscape in terms of setback and orientation. New buildings should not be orientated within sites contrary to the established alignment patterns.

Where there is no identifiable setback pattern, new buildings should be setback at the same distance from the street as the adjoining properties or achieve a transitional setback between the two properties on either side. This principle can also be applied to the rear of infill development and additions to the rear of existing properties.

Details

New development should reflect the characteristic materials, colours, details and decorations used locally and in surrounding development. Materials and details of existing development should not be copied.

Modern materials can be used if their proportions and details match and colour and tonal contrast can be used as unifying elements.

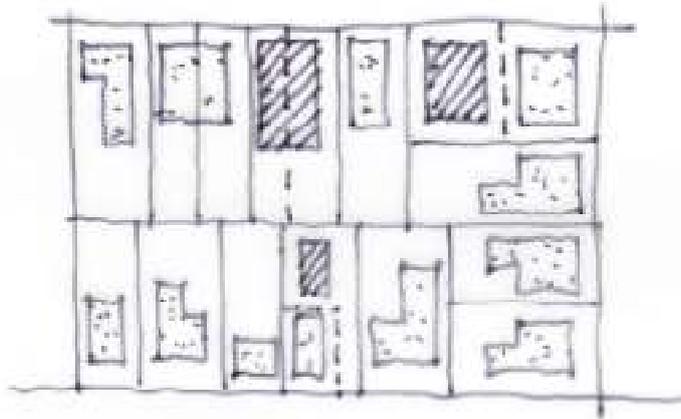


Figure 15.2: New buildings as infill and also as part of a subdivision should respect the scale and character of the streetscape.

15.7.4 Reconstruction

For heritage items, reconstruction should be based on accurate historic information to allow accurate replication of details for heritage items.

For non-heritage items, reconstruction should be based on typical details of the period of the original construction; however the preference is for the accurate replication of details specific to that building. When work is reconstructed, the work should be clearly distinguished from the original. This may be achieved through minor alterations in details plus the stamping, engraving or marking the construction date in a sympathetic location.

15.8 Heritage Items Development Objectives & Controls

Heritage items have been identified in Heritage Studies across the Bellingen Shire as places that should be retained and conserved for future generations. The heritage significance of these places should be respected and understood when designing future development. In many cases, the significance of heritage items will be established in the relevant copy of the Heritage Inventory. The following controls assist in designing changes in the form of alterations and additions to places with heritage significance.

15.8.1 Setting

Setting is the area around a heritage item that contributes to its heritage significance and may include the visual catchment of a heritage item which is external to the site. Topography, trees, gardens, fencing and pavement may all contribute to the setting of a heritage item. Where a heritage item has aesthetic significance as a landmark, it is particularly important that new development does not obscure its visual presence in the streetscape and/or townscape.

Objectives

- a) To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking.
- b) To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape.

Controls

- 1) Elements with heritage significance that contribute to the setting of a heritage item such as landscaping, fences, driveways, retaining structures, earthworks, seawalls etc. are to be conserved.
- 2) Additions, alterations and new structures are located so that they do not impact on the setting of the heritage item.
- 3) Cut and fill or other works that change the land form around the heritage item shall be avoided.

15.8.2 Siting, orientation and setbacks

Objectives

- a) To ensure that the qualities of streetscapes and townscapes are not eroded by new development,
- b) New development should respond to the established development patterns such as subdivision layout, setbacks, and spaces between buildings.
- c) Development should not obscure existing views to or from heritage buildings nor inhibit their appreciation.
- d) Site amalgamation is discouraged where the original subdivision pattern is intact.
- e) Development should respect and utilise the topography of the area.

Controls

- 1) New development should be aligned to the predominant building line and should be sited in a similar location to development that exists on neighbouring properties.
- 2) Either maintain the existing street setback or increase the setback to reinforce the principal street setback of adjoining principal buildings.
- 3) Ensure the quality and quantity of street front garden landscaping is not eroded or degraded.
- 4) Where development is part of a row, group or pair, setbacks should match those of the adjacent buildings.
- 5) Otherwise, setbacks shall not be altered unless it can be demonstrated that the change in setback will represent an equal or greater contribution to the character of the area.

- 6) Façade alignments should not be stepped or curved in plan without precedent.
- 7) Locate new garages/carports behind the front building alignment of existing dwellings

15.8.3 Scale

Scale is the size of a building and its relationship with the surrounding buildings and landscape. It is important that new development at places with heritage significance respects the scale of the existing buildings and/or landscape elements that contribute to the significance of the place.

Objective

- a) To ensure that additions to a heritage item and new buildings on the site of a heritage item are of a scale consistent with the heritage item.

Controls

- 1) Alterations and additions to a heritage item should not be larger in scale than the heritage item
- 2) Development of a larger scale than the heritage item is allowable only if it can be demonstrated that the new development will not detract from the aesthetic significance and important views to and from the heritage item.

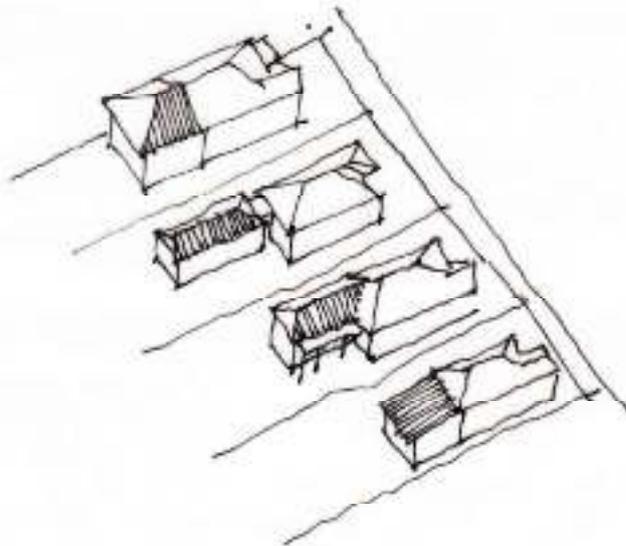


Figure 15.3: Additions and extension to traditional structures generally take one of the three types and respect the scale of the existing building.

15.8.4 Form

The form of a building is its overall shape and volume and arrangement of its parts. The rooflines of buildings and elements such as chimneys, parapets, walls and verandahs etc. are often significant elements within the form of a heritage item.

Objectives

- a) To ensure that significant elements of the form of a heritage item are not obscured or destroyed by alterations and additions.
- b) To ensure that the form of a heritage item retains its importance in the streetscape and/or townscape.

Controls

- 1) Significant elements of the form of a heritage item such as roof forms, chimneys, walls, verandahs and parapets etc. should not be demolished or obscured by alterations and additions.
- 2) Verandahs on the front and side elevations of a heritage item should not be filled or enclosed.
- 3) Additions and alterations to a heritage item should not detract from important aspects of the form of the heritage item.

15.8.5 Building Design

Objectives

- a) To ensure that alterations and additions to a significant building relate to the architectural qualities of the existing building and/or structure.
- b) To ensure that changes to the building as a result of an adaptive reuse can be interpreted in the future as belonging to the relevant historical period/s.
- c) To retain both original and significant building structure and fabric.

Controls

- 1) Additions and alterations to a building as the result of an adaptive reuse should be designed to respect the original architectural qualities of the building/structure such as form, façade articulation, patterns of fenestration, parapet and wall profiles, roofs, details, verandahs, materials and colour schemes.
- 2) Facade retention in the form of a wall only, will not be permitted.
- 3) Significant internal elements such as original or historically or aesthetically important fabric including fireplaces, ceilings, staircases and distinctive joinery should be retained.
- 4) New work required for the adaptive reuse should be sympathetic with the significance but capable of being interpreted and distinguished from the retained works.
- 5) Fire engineered solutions should be sought to allow for the retention of original structure and fabric that would otherwise not meet relevant 'deemed to comply' requirements of the Building Code of Australia.

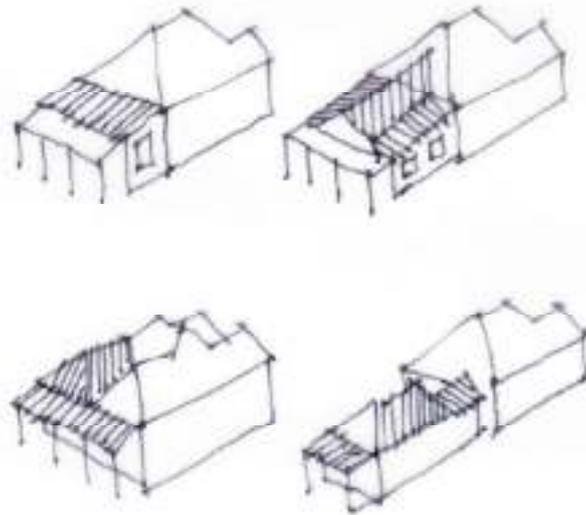


Figure 15.4: Reflecting the character of traditional building should include interpreting without replication, typical design characteristics and details.

15.8.6 Adaptive reuse

Adaptive reuse of heritage buildings is a change where a new use is introduced as the building is no longer suitable for the original function. It is desirable both for environmental sustainability and heritage conservation. Typical examples include redundant Churches, Industrial sites and rural structures adapted to provide dwellings.

All buildings have 'embodied energy' defined as the energy that is consumed during the processes of sourcing materials, delivering them to site and construction process.

Reusing heritage buildings allows the retention of history for future generations through the retention of significance and the adaptation of elements of the site and structure to allow for a new use.

Adaptive reuse of a heritage building should:

- a) only occur where the original use is no longer viable. A range of tests may be requested in considering viability including building costs, property values, engineering and architectural design;
- b) retain all significant fabric of heritage listed buildings. If significant fabric is unavoidably removed it will be stored on site for possible future reinstatement;
- c) retain the general appearance of the building such that its original role can be readily interpreted.

Objectives

- a) To encourage the adaptive reuse of buildings and structures which are no longer suitable for their original uses.
- b) To ensure that adaptive reuse respects the significance of the place.
- c) To ensure that the impacts of the changes on heritage significant elements is minimized.

Controls

Adaptive reuse and the associated changes to the site and building:

- 1) should retain the significant architectural qualities of the building and structure and particularly features that contribute to the streetscape and townscape.
- 2) should involve minimal change to the significant fabric of the place
- 3) should respect significant associations and meaning of the place
- 4) must be readily reversible and should not compromise the inherent flexibility of the place and its potential for other uses;
- 5) must be designed so as to be sympathetic to the character of the existing significant building, though should reflect the specific layout and requirements of their use rather than arbitrarily replicate historic forms;
- 6) where incorporating additions, plant and equipment or services which are required to facilitate adaptive reuse, should be concealed from view within the broader streetscape.

15.8.7 Demolition

Demolition of any heritage listed building requires Development Consent from Council.

Demolition of a heritage item is unlikely to be permitted unless it can be demonstrated that the item is not reasonably capable of repair. Specifically, demolition of any building is unlikely to be permitted unless:

- a) the item is intrusive to the overall significance of the area; or
- b) the item is structurally unsound beyond the point of repair and represents a public danger; or
- c) there is a concurrent Development Consent for the replacement structure, except where demolition is proposed on the basis that the item is structurally unsound.

Where a heritage item or building is proposed to be demolished, a Heritage Impact Statement should justify why this is the preferred action after the consideration of options for retention. The Statement should include historical information on the property, an assessment of the quality and physical condition of the building (clearly outlining any alterations which have occurred over time and whether these contribute or detract from the building's significance) and a comparative analysis of the building in relation to others of its kind in the Shire. The recommendations of the report should be based on the heritage significance of the item, not on the development potential of the land it is situated on.

Council will consider not only the external appearance and condition of the structure but will weigh up the heritage significance of the property, its contribution to the history and identity of the street and setting, its rarity and its importance to Bellingen Shire as a whole.

If approval is granted for the demolition of a heritage item, the applicant will be requested to provide an archival recording with measured drawings and

photographs of the item for Council's records, in accordance with the NSW Heritage Office Guidelines.

Objectives

- a) To retain heritage buildings and structures or elements which contribute to the significance of the item.
- b) To retain a valuable and useful record of places where consent is provided by council for demolition.

Controls

- 1) Buildings that are listed as heritage items or contribute to the significance of an item should not be demolished.
- 2) Partial demolition of a heritage item will only be permitted when it can be established in a Statement of Heritage Impact that the loss will not have a substantial impact on the significance of the heritage item.
- 3) Outbuildings associated with heritage items can only be demolished where a Statement of Heritage Impact can establish that the structure does not contribute to the significance of the heritage item.

15.8.8 Subdivision

Land associated with a heritage building is often important in providing a setting to a heritage item. The grounds of a heritage item can often ensure that important views to and from a heritage building are available. Subdivision is permitted where an adequate curtilage can be established to protect the setting.

If a property to be subdivided has been identified as a heritage item, the following Design Principles need to be observed:

- a) the integrity of the original main building and its surrounds should be conserved by ensuring an adequate curtilage is retained;
- b) on rural properties this curtilage should include any front landscaped areas or tree-lined driveways;
- c) original outbuildings on rural properties should be considered as should any site of possible archaeological interest; and
- d) any important views to and from the remaining original complex should be conserved.

Objectives

- a) To ensure that subdivision of heritage items does not result in a loss of appropriate curtilage to the heritage item.
- b) To ensure that subdivision of heritage items does not result in development that would obscure important views to and from the heritage item.

Controls

- 1) Subdivision of an allotment that includes a heritage item is unlikely to be permitted unless it can be demonstrated, in a Heritage Impact Statement, that an adequate curtilage for the heritage item is retained.
- 2) Subdivision of land that includes a heritage item is unlikely to be permitted unless it can be demonstrated in a Statement of Heritage Impact that proposed or future development on the created allotments will not impact on important views to and from the heritage item.
- 3) Subdivision will be required to demonstrate, through the use of indicative building envelopes that development of buildings and landscaping will not impose constraints such as fire protection or other measures which could detract from the heritage significance.

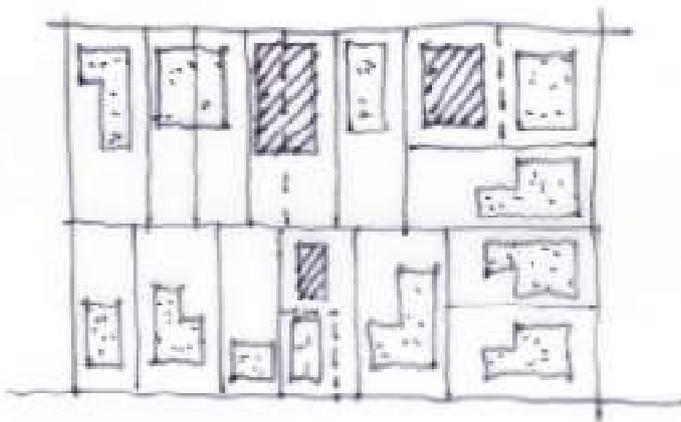


Figure 15.5: Length ways subdivisions reflect traditional lots and forms and dividing large corner lots makes good use of a site while rear lot subdivision requires careful use of access handles and good building design.

15.8.9 Materials and Colours

The selection of materials and colours is important to the aesthetic qualities of heritage items. Development that includes changing roofing materials, re-finishing brickwork, rendering or painting brick and stone, over-cladding timber and brick walls and the use of textured finishes without relevant historic precedent can degrade the historic significance of a heritage item.

Alterations and additions on the site of a heritage item should consider the original design and materials of the heritage item. While it is not always necessary to match the materials and colours of the original building, new materials and colours should be carefully selected to ensure that they complement the original building and that the historic elements continue to dominate the character.

Objectives

- a) To ensure that original materials that contribute to the significance of heritage items are not obscured.
- b) To ensure that paint colours on heritage items are consistent with the significance of the heritage item

- c) To ensure that the external materials and colours on alterations and additions to heritage items relate well to the materials and colours of the heritage item
- d) To ensure that external colours and associated signs and advertising do not detract from or visually dominate the heritage item and significance.

Controls

- 1) Original materials of heritage items should not be replaced with different materials, finish or materials of different colour.
- 2) Non-original materials of heritage items that are being replaced shall, if possible, be replaced with material that matches the original material or is sympathetic with the change being distinguished.
- 3) Painting, rendering, over-cladding or bagging of original face brickwork and stonework is not permitted.
- 4) The colour, detail and texture of original material should not be altered.
- 5) Materials for alterations and additions to heritage items should be sympathetic with the original materials of the heritage item.
- 6) Colour schemes for heritage items should have a hue and tonal relationship with traditional colour schemes for the period and style of the heritage item.
- 7) The use of fluorescent paint and bright primary colours on heritage items is not permitted.
- 8) The use of modern finishes including stenciled concrete for driveways associated with heritage items is not permitted
- 9) Corporate colours should be used in specific signs and advertising and not applied broadly to the building elevations.

15.8.10 Roof forms and materials

The roof form of a building is often its most prominent “public” feature, especially within the broader townscape, and will often largely conceal other less sympathetic aspects of the design. Typical roof forms within historic areas are:

- a) hipped roofs for residential buildings, the older ones being higher pitched than the more recent hipped or gabled roofs for commercial buildings, with the gable often at the street frontage only;
- b) gabled roofs for ancillary buildings like garages and sheds;
- c) verandah roofs that are a direct extension of the main roof though at a lower pitch;
- d) simplicity of overall form, usually having a consistent main ridge line and with few secondary projections;
- e) forms with chimneys and fireplaces to living and kitchen areas.

Roofs are a dominant element in proportion with the other elements that make up the building, such as the base and walls, and it is important that the materials used are in style and character. Gable, barge, gutter, downpipe, finial and other details should be interpreted without replication.

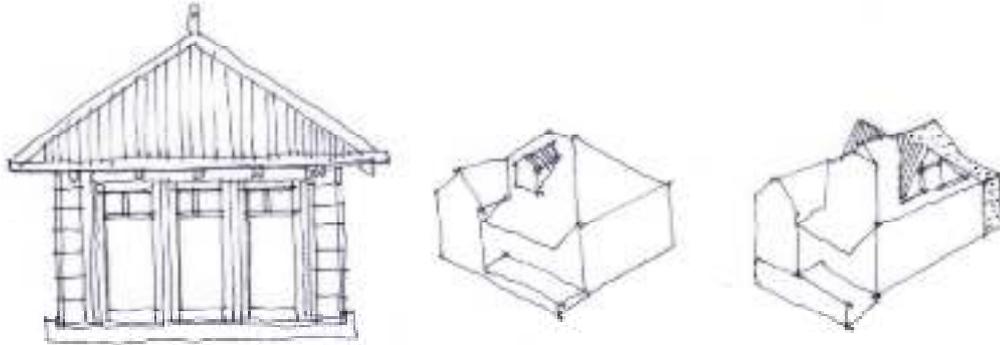


Figure 15.6: Roof extensions provide light and ventilation and use traditional details without overwhelming the scale and form of the main building.

Objectives

- a) Roof extensions and alterations should complement the massing, form and materials of the roof form of the existing building.
- b) Ensure that the form of the roof retains the importance within the streetscape and townscape.
- c) Ensure that significant elements of the roof are not destroyed or obscured through unsympathetic alterations and additions.
- d) To ensure that significant roof materials and details are conserved and new work is sympathetic.

Controls

- 1) Roofs must be in proportion and scale with the rest of the principal building and not overwhelm its architectural integrity.
- 2) Roofs must not dominate the elements that make up the principal building. They should have a simple overall form, with a consistent main ridge line and with few secondary projections.
- 3) Original roofing materials should be retained wherever possible. Second hand materials may be appropriate to repair damaged or broken tiles or slate. Where significant repairs are required, it is desirable to maintain the original presentation to the street. In these circumstances, good tiles or slates from near or side elevations of buildings should be transferred to the front elevation of the building. Corrugated, galvanized steel in a compatible colour can then be installed on the rear parts of the building.
- 4) Roofs must retain the details of the original roof such as gables and chimneys.
- 5) The retention of chimneys is essential on heritage items even if their function is no longer required.

- 6) Traditional roofing materials of the area must be used, such as corrugated galvanised custom orb steel roofing and associated elements including the appropriate gutter profile, downpipe and rolled flashings.
- 7) Rare details such as astragals, acroteria and spear points should be conserved and new work in the vicinity should be sympathetic.
- 8) Colorbond roofing and associated elements is acceptable when replacing previously painted steel roofing where the paint colour was original dating from the design and construction.
- 9) Zinalume is not an acceptable roofing material due to the bright reflective appearance which is not appropriate on heritage items.
- 10) Terra-cotta tiles in appropriate profiles relating to particular periods including the Federation and Inter-war periods may be acceptable on buildings from such periods or on infill and new buildings in the vicinity of such buildings.
- 11) The use of roof space is preferred to complete floor extensions which alter the overall design of the building.
- 12) Re-roofing on heritage items will only be acceptable where it is proven that the roofing materials are significantly deteriorated and beyond repair.
- 13) Roof extensions, alterations and extensions should not impact on the principal elevation of a heritage item.
- 14) Roof extensions and alterations on heritage items should relate to the form, pitch, eaves, ridge heights and materials of the original building.
- 15) The use of corrugated, galvanized steel in an unpainted finish or similar grey tones is the preferred roofing material for the replacement of corrugated iron.
- 16) Skylights, solar water heaters, solar panels, ventilators, heat exchangers, satellite dishes, antennae and other similar contemporary ancillary services should not be located on the principal elevation and roofs of heritage & contributory items or on areas of the items visible from the public domain. Refer to Section 15.8.18 for additional information.
- 17) Dormers and their windows should be contained within the existing roof plane, below the ridge line and, generally, be of a traditional design and proportion.
- 18) The insertion of a dormer may not be appropriate in a highly significant item.
- 19) The roof form for new residential development should:
 - i. be consistent with the character of any adjacent heritage items and of the immediate streetscape (as defined by reference to at least two lots to either side);
 - ii. be of simple overall form i.e. consistent main ridge line and with few secondary projections and without multiple steps in alignment;
 - iii. be hipped between 30 and 35 degrees, with minimal use of projecting gables to the street.

- iv. include a verandah roof (or awning for commercial properties) as an extension of the main roof, either at the same or a lower pitch.

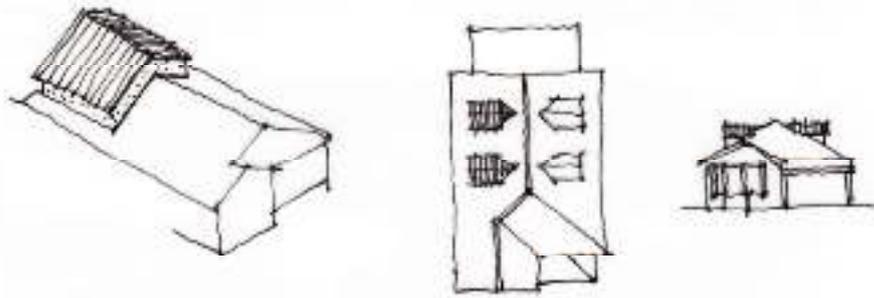


Figure 15.7: Roof extensions which provide additional space should be confined to the rear and not dominate the building form and streetscape while traditional dormers provide light and ventilation only.

15.8.11 Shopfronts and commercial premises

Retail and commercial buildings are generally built to the street boundary and have a strong orientation to the street, awnings over the footpath, corner splays, and access directly from street level. Facades have a consistent vertical expression that is articulated, often comprising recessed pedestrian entries in chamfered alcoves and display windows. Similarly, entries to the residential component of mixed-use buildings tend to be recessed.

Commercial buildings included both lightweight timber framed weatherboard clad structures and masonry buildings clad in face brickwork with rendered detail. Many are now painted. They include parapets with concealed sloping metal roofs behind, and awnings over the footpaths. Some shops have pitched roofs corrugated metal cladding. Windows and doors were timber framed and have distinct proportions and rhythm, which are integral to the overall design of the building.

Some have distinguishing detailing, wall tiling, window bays or false balconies on the upper level.

Objective

- a) Alterations and additions to existing commercial buildings should maintain their existing and/or historic style, while new commercial buildings should follow the basic pattern of development that characterises, maintains and enhances existing streetscapes.

Controls

Commercial buildings

- 1) As a general principle, commercial buildings should be constructed to the street alignment.
- 2) If, in Council's opinion, an existing setback makes a positive contribution to the streetscape then it shall be retained.
- 3) The front façade of buildings shall be orientated towards the street.

- 4) Corner buildings should 'turn' the corner with their main point of entry either on the corner itself or on street to which it fronts Road.
- 5) Facade alignments should not be stepped or curved in plan. An exception to this requirement is that ground-floor shopfronts that follow the traditional pattern of a stepped-in entrance between window bays are encouraged.
- 6) Original characteristic architectural elements are to be retained. Alterations to these elements or the use of materials or Architectural styles which detract from this character will not be permitted.
- 7) The reinstatement of original characteristic architectural elements that have been removed is encouraged. Where a building is part of a 'set', other, more intact, buildings in that set can provide guidance as to appropriate reinstatement works.
- 8) Alterations and additions to buildings within a 'set' are not to diminish the coherency of that set.
- 9) Openings to verandahs and balconies of new developments are to be of small scale in relation to the facade of the building. Balcony and verandah railings and supports should not be a dominant feature. Metal railings, glazing and concrete supports are inconsistent with the character of the Conservation Area.
- 10) Retail/commercial buildings shall generally have awnings. The materials, height and architectural styling should match traditional adjacent awnings.
- 11) Retain existing awnings on all commercial buildings, encouraging their conservation and reconstruction of missing details where appropriate.
- 12) Awnings on all new buildings, or alterations and additions to existing buildings must avoid modern or pseudo-historic materials and details, such as aluminium lace, metal pipe framing or tightly rolled bull nosed iron.
- 13) Awnings on new buildings must correspond to the building by extending to adjacent awnings to provide continuous weather protection for pedestrians beneath.
- 14) Awnings should not run unbroken across adjacent buildings where they are clearly of different construction, even though they may now function as one.
- 15) New or reinstated awnings must be set back from the kerb by approximately 300-600mm, or otherwise as required by Council policy, to minimise the risk of damage by motor vehicles.
- 16) Where the base of posts has rotted, galvanised steel brackets or straps may be used to support the post, however these should be no more than 5-10cm high and clad in a skirting type profile. If the post has rotted beyond retention it should be replaced with one of a similar timber species, size and detailing to match.
- 17) Alterations and additions to existing buildings must be of an appropriate style and detail for the design of the building where the original awning is reconstructed.

- 18) New commercial buildings should include a traditional shopfront arrangement and provide for mobility access.
- 19) Cantilevered and suspended awnings must not be adapted with posts to imitate a traditional verandah.
- 20) Sun blinds as a traditional attachment and sign opportunity are encouraged in appropriate locations.

Facades should be detailed to provide texture, relief, and shadow.

- 21) The design of windows and doors in new development should be drawn from traditional characteristic door and window patterns.
- 22) Replacement windows and doors must match the original characteristic pattern and materials.
- 23) Roofs should be gabled, hipped or hidden from the street by parapets. Where there is no parapet, roof pitch shall be between 30 and 35 degrees or similar to the significant streetscape.
- 24) Retain and restore parapets to existing commercial buildings where they exist.
- 25) Packaged air conditioners and mechanical exhaust fans and grills shall not be placed on street facades or on any part of the building that can be seen from the street.
- 26) Storm and wastewater removal from buildings shall be discharged in accordance with Council requirements using materials and details typical of the period.
- 27) Skylights, solar heating panels, satellite dishes and other non-traditional elements are considered to be intrusive and should not be located where visible from the street and other public spaces.
- 28) Maintenance, reinstatement work and alterations and additions to existing buildings are to be of a material matching the original construction or contemporary equivalent acceptable to Council.

Shop-fronts

- 29) Original shop-fronts are to be retained.
- 30) Individual architectural features are not to be removed or obscured.
- 31) Restoration and reinstatement of original shop-fronts is encouraged.
- 32) Alterations to glazed area, fixed canopies, awnings, blinds or security screens are to maintain the narrow-fronted, vertical proportions of the building facades in the Conservation Area, heritage item or contributory item.
- 33) Shop-fronts or fascias of new development are not to extend across two or more separate buildings.
- 34) Security screens, where considered necessary, are to be placed behind the glass shop-front and should be in an architectural style and materials

sympathetic to the style of the building. Only open grill type security screens will be considered under exceptional circumstances.

- 35) Original shopfront glazing or tiling is not to be painted out or obscured.
- 36) Exposed vents, pipes and the like should not be visible from the street.
- 37) Alterations and additions to existing buildings should incorporate remnants of original shopfronts into new layouts.
- 38) New shopfronts should reflect the typical details and finishes which set the significant character of the streetscape.
- 39) Alterations and additions to existing buildings should retain non-typical shopfronts which indicate the former use of a place, unless there is sufficient historic information to allow accurate reconstruction of an earlier form.
- 40) The use of traditional dark coloured gloss ceramic tiles to the lower dado areas of shop fronts is encouraged.

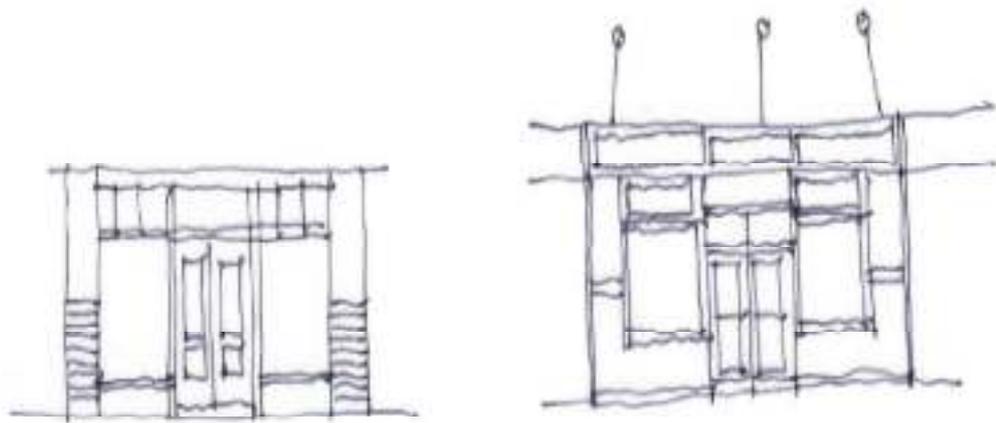


Figure 15.8: Traditional shopfronts have four key elements which should be retained while new work should interpret these items: Side walls, fine glazed windows, doors and hamper panels and sign.

15.8.12 Verandahs and Awnings

Verandahs are a typical feature of traditional Australian architecture and are important for their aesthetics, for control of sunlight and for providing outdoor living space. Suspended awnings and cantilevered awnings replaced many traditional verandahs although the facades were unsuited to the structural loadings and the façade designs. In many cases traditional verandahs may be reinstated in the appropriate circumstances. Suspended and cantilevered awnings were introduced during the Inter war period on new commercial and retail buildings as integrated design and amenity elements. Details of verandahs vary considerably with the age of the building, and the use of appropriate details, materials and proportions is crucial. The addition of an inappropriate verandah to a significant building will greatly reduce its heritage value.

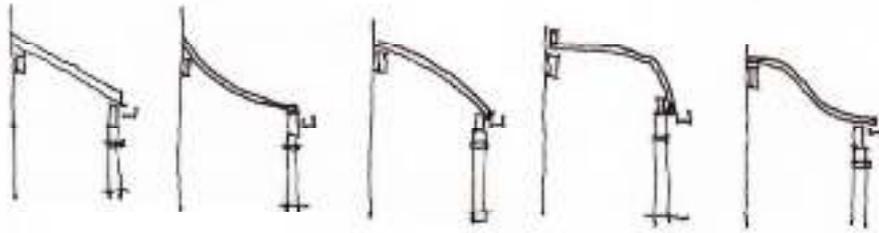


Figure 15.9: Traditional verandahs include the skillion, Concave, Convex, Bull nose and Ogee. New work should generally interpret the skillion type.

Objectives

- a) Where there is a pattern of development that incorporates verandahs, new buildings should include a verandah or awning, to create an appropriate street frontage and to enhance the amenity of the premises.
- b) Where there is evidence that a heritage item originally included a verandah or awning which was removed, then reinstatement based on photographic and physical evidence should be considered.

Controls

- 1) Original verandahs must be kept, including the retention of original details and materials.
- 2) When reinstating a traditional verandah or awning, traditional materials, finishes and details appropriate for the design and period should be adopted;
- 3) Suspended awnings should not be converted into verandahs through the addition of posts and decorative details.
- 4) All development within the heritage conservation area, including new buildings and alterations to the frontages of existing buildings must have a verandah to the street frontage and/or over the front door and stretch across the full width or at least the majority of the facade.
- 5) Framing for verandahs should include posts and beams that are in simple timber sections, have little if any ornamentation (though dressed timber stop chamfering is common and is appropriate for new houses) and must not include modern or pseudo- historic materials and details (such as aluminium lace, metal pipe framing or tightly rolled bull nosed iron).
- 6) Where required, balustrades should comprise simple timber details e.g. plain rails, pickets or criss-cross panels.
- 7) Verandah roofs for new developments:
 - i. should preferably be a direct extension of the main roof, either at the same or a slightly lower pitch;
 - ii. may include or be a separate skillion roof located below the main eaves where appropriate to the design and only where the eaves are high enough to accommodate it (about 3m internal ceiling height);

- iii. may be a bullnosed roof but should only be used on new houses or commercial buildings where appropriate to the design. They must only be used where internal ceiling height is 3m and have a traditional profile with a moderate radius.
- iv. For contemporary designs the use of suspended or cantilevered awnings may be acceptable subject to appropriate scale, materials and details.

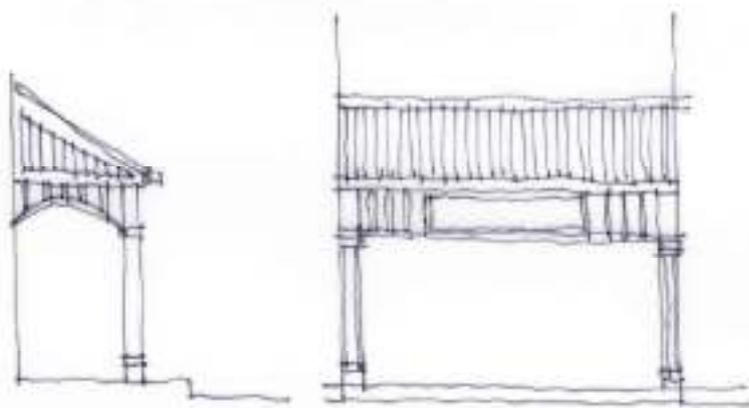


Figure 15.10: A traditional verandah provides shade, weather protection and a well-placed sign

15.8.13 Doors and windows

The spacing, proportions and detailing of doors and windows of heritage items are a major contributing factor to their aesthetic significance. Changing doors and windows or adding new openings can dramatically affect the character of a heritage item.

Objectives

- a) To retain original doors and windows that contribute to the aesthetic significance of a heritage item.
- b) To reinstate missing details that contributed to the aesthetic significance of a heritage item.
- c) To retain the proportions of walls and openings that contribute to the aesthetic quality of the heritage item

Controls

- 1) Original door and window openings in the important elevations of a heritage item should be retained.
- 2) Where original doors and windows in visually prominent elevations have been removed and/or replaced with inappropriate materials and designs, and new joinery is proposed, it should be similar to the original in design and material.

New door and window openings in prominent elevations must be:

- 3) Sensitively located to retain the original relationship of solid and void; and

- 4) Of proportions, materials and details similar to existing doors and window openings.
- 5) New dormer windows should be located on the rear roof of the building and the design based on traditional local examples. The scale, details and proportions need to be sympathetic with the original design of the building.
- 6) Extensive glass areas will only be permitted in the visually prominent elevations where they were a feature of the original design of the building.
- 7) Roof lights will only be permitted in roofs not visible from the public realm.

15.8.14 Interiors

While formal heritage listing of places has typically only assessed the exterior, it is now recognised that the interior in many properties is often just as important to the significance of a place.

Interiors can change frequently with different decorative schemes reflecting changing fashions and different room layouts reflecting changing patterns of occupation. Thus, an interior decoration scheme will often be of a much younger period than the actual building, but that does not necessarily mean it is of lesser significance.

Despite changing decorative schemes including modified kitchens and bathrooms, many properties retain significant elements including fireplaces, ceilings, joinery and timber floors.

Objectives

- a) It is important to recognise that the interiors of heritage listed buildings are often an integral part of the heritage significance of the item, or may be significant in their own right, and their conservation, restoration and integration should be supported.
- b) In many but not all cases, the Heritage Inventory may describe significant elements and should be used a reference document in addition to material available from the Museum, private collections and newspaper records.

Controls

- 1) Internal alterations should relate to the external design of the building, particularly floor levels and window openings.
- 2) Where possible:
 - i. relatively intact decorative schemes (e.g. wallpapers, paint, curtains, floor coverings etc.) from a given period should be preserved.
 - ii. care must be taken to address structural problems, such as rising damp, cracked walls or leaking roofs, in order to preserve existing schemes and to minimise disturbance caused by those works.
 - iii. the reconstruction of an earlier decorative scheme is only appropriate where the existing scheme has little or no significance, and where there is sufficient historic evidence to allow for authentic reconstruction of all elements of the scheme.

- iv. Significant items of joinery, cabinetry or other built-in furniture which are associated with past uses of a heritage listed building (e.g. shop counters) should be retained within their original space, but may be adapted for a new use as appropriate. If removed, these items must be appropriately stored for later restoration.
- v. Prior to making changes, a record should be made of the existing interior scheme, which may include photographs, reference to standard paint colours, and samples of materials.

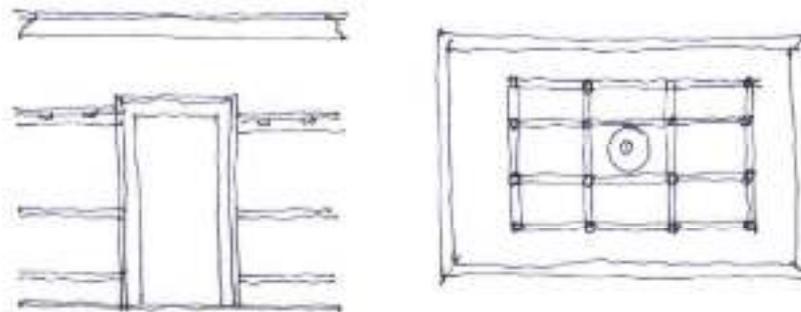


Figure 15.10: Key traditional internal details may include high skirtings, a dado rail or plaster detail, a picture rail and bold cornice while ceilings may include panels and central pendant lights

15.8.15 Carparking

Vehicles, garages and carports can have a detrimental effect on the aesthetic significance of a heritage item as they generally obscure views to and from the prominent elevations. The structures change the pattern of the streetscape while the scale, proportions and materials of contemporary structures are unsympathetic with traditional materials and associated elements.

Objective

- a) To ensure that garages and carports are designed to minimize the detrimental impact on visually prominent elevations and the streetscape.

Controls

- 1) Garages and carports are to be located as far behind the front building line as possible.
- 2) Garages should generally be freestanding and not connected to the main building.
- 3) Where a new garage or carport adjoins a verandah, the front of the new structure is to be located entirely behind the verandah.
- 4) Garages will generally not be permitted in the front setback of a property;
- 5) On sloping sites, garages may be incorporated into a retaining wall so as to reduce the visual impact of the structure on the streetscape.
- 6) Controls specified in this chapter are to be considered in conjunction with general controls on garage location contained within Chapter 1 of

Bellingen Shire Development Control Plan 2010. In the event of any inconsistency, heritage specific provisions should prevail.

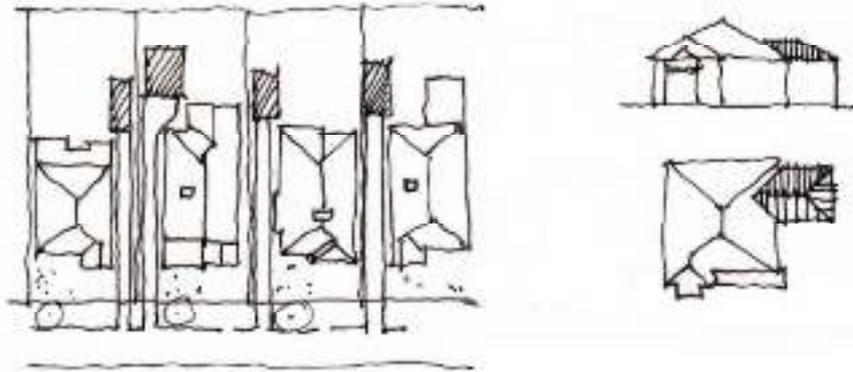


Figure 15.11: Garages are best placed to the rear of a dwelling as an ancillary building like a traditional shed while side car ports should be sympathetic in scale and detail.

15.8.16 Fences and gates

Front fencing establishes the setting of a heritage item within the streetscape. Side fencing can be visually prominent from the public realm and in views within the site of the heritage item. The style and materials of gates and fences should be sympathetic with the style and period of the structure.

Objectives

- a) To conserve gates and fences that are significant and appropriate for the heritage item.
- b) To ensure that new gates and fences are sympathetic with the significance of the heritage item.
- c) To ensure that the aesthetic significance of the heritage item is not diminished by new inappropriate gates and fencing

Controls

- 1) Fencing and gates that are appropriate for the significance of a heritage item should be retained.
- 2) New fencing and gates should be of a style, scale and in materials that are consistent with the significance of the heritage item.
- 3) Unless documentary or physical evidence is produced to establish a greater height, fencing forward of the building line constructed of masonry should not be greater than 900mm in height above the footpath.
- 4) Unless documentary or physical evidence is produced to establish a greater height, fencing forward of the building line constructed of timber palings and pickets, metal palisade or wrought iron or some combination, should not be greater than 1200mm in height above the footpath.
- 5) Original or appropriate face brick, stone or rendered feature masonry should not be removed or painted unless previously painted.

- 6) Controls specified in this chapter are to be considered in conjunction with general controls on fencing contained within Chapter 1 of Bellingen Shire Development Control Plan 2010. In the event of any inconsistency, heritage specific provisions should prevail.

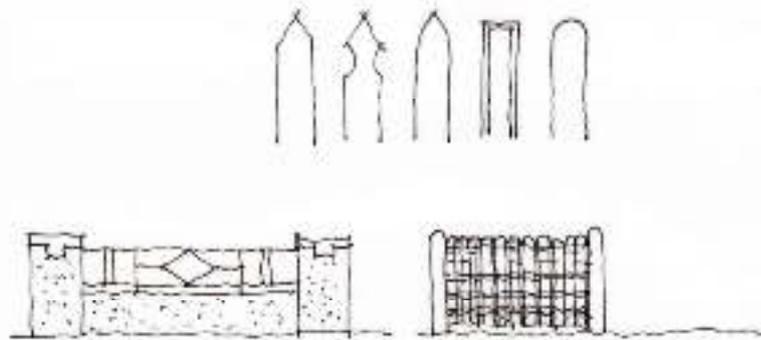


Figure 15.12: Paling types within Bellingen, steel railings and woven wire suit different periods.

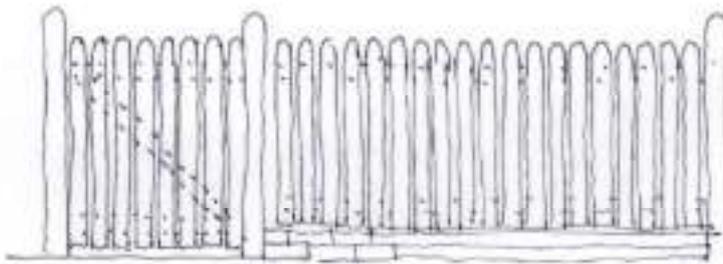


Figure 15.13: Picket fencing should generally be a simple interpretation and include a matching gate

15.8.17 Landscaping and gardens

Landscape elements are of importance in contributing to the aesthetic significance of heritage items. The design of front gardens including the layout and selection of planting and materials provides a setting for the building and enhances the significance of the heritage item.

Objectives

- a) To retain significant elements that contribute to the significance of the heritage item
- b) To enhance the qualities of the heritage item through appropriate landscaping.

Controls

- 1) Original driveways and footpath crossings that relate to a heritage and contributory item are to be retained.
- 2) Double width driveways and crossings will not be permitted for heritage and contributory items.

- 3) Original or early garden layouts that contribute to the significance of the heritage item should be retained and altered sympathetically.
- 4) Significant gardens should not be sacrificed for the provision of driveways where a rear lane or side access is an alternative.
- 5) Established trees and plants that contribute to the significance of the heritage item should be retained unless an arborist establishes that the tree health is such that it should be removed.
- 6) Swimming pools and spas and associated elements should not have a detrimental impact upon the significant landscape and views to and from the heritage item.

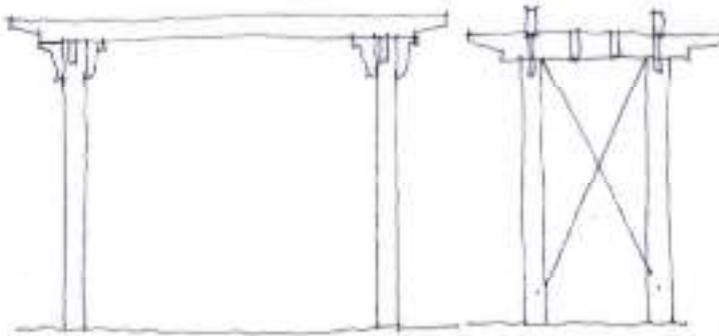


Figure 15.14: Garden structures should be timber and interpretations of traditional details for providing shade and amenity.

15.8.18 Modern technology

Modern technology can include fixtures such as air-conditioning, solar panels and hot water systems, photovoltaic panels, aerials, wind turbines and satellite dishes with associated cabling and equipment.

Objective

- a) To ensure that modern technologies do not impact on significant building elements, fabric and views to and from the heritage item and setting.

Controls

- 1) Modern technologies are to be located so that they are not visible from the public realm.
- 2) New devices are located on ancillary buildings such as sheds, garages and carports, where possible.
- 3) Install solar panel and plate devices on the plane of roofs and avoid supplementary structures to orient the panels and devices to another angle
- 4) Modern technologies are to be no higher than the ridge line of the main roof of a heritage item.
- 5) Independent structures such as aerials and wind turbines can be located in rear gardens where they can be screened with planting and the scale will not dominate the heritage significance.

- 6) Locate supplementary devices such as compressors and meters at ground level in a screened location and to suit reasonable access.
- 7) Ensure that the devices are generally dark in colour and that the colour is uniform across the device.
- 8) Ensure that cables and associated devices are a suitable colour and screened from the public realm.
- 9) Solar hot water tanks are to be located at ground level with their associated flat plate collectors located on the plane of the roof.

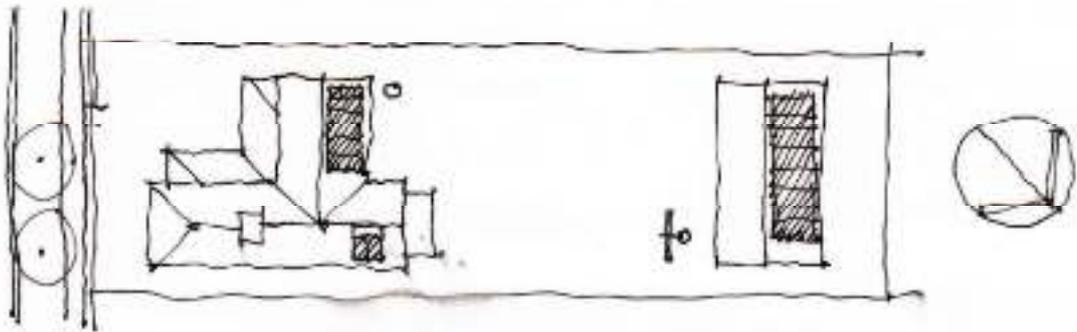


Figure 15.15: Solar panels should be located away from the front elevations and use ancillary buildings where possible. Solar tanks to be located at ground level and wind structures away from key elevations.

15.8.19 Outbuildings

Outbuildings such as garden sheds, outhouses, gazebos, pool pavilions and pergolas can detract from the setting of heritage items. The location and design of ancillary structures is to be considered to ensure that there is no detrimental impact on the heritage item and/or setting.

Objective

- a) To minimise visual intrusion on views of heritage items due to outbuildings.

Controls

- 1) Outbuildings are located to the rear of heritage buildings.
- 2) Outbuildings are single storey and designed so that they have minimal impact on views to and from significant heritage buildings and be no higher than the main roof of the heritage building.
- 3) Materials, finishes and colours for outbuildings reflect their ancillary nature and not that of the main heritage building.

Landscaping is used to minimise the visual impact of outbuildings on the setting and significance of heritage items.

15.8.20 Signs

Commercial buildings from the late nineteenth and early twentieth centuries incorporated elements on their facades designed for locating signs to identify the

business operating within. This integrates successful advertising within the building design, allows for equity within the streetscape and adds vitality to the commercial precinct.

Refer to Chapter 7 of this DCP (Section 7.7; Assessment Criteria – Heritage Significance) for Objectives and Controls.

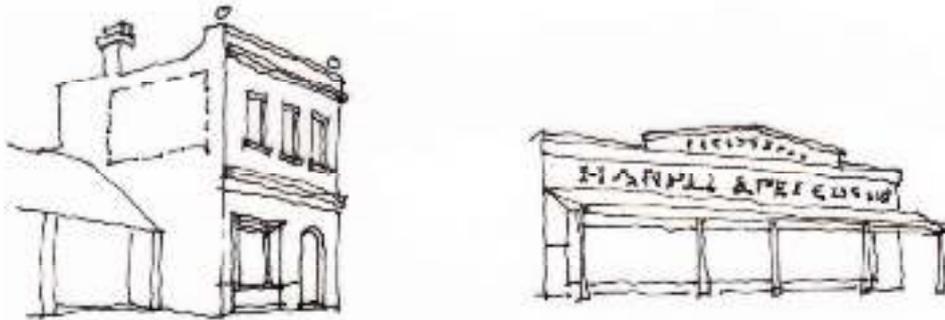


Figure 15.16: Early photos of Bellingen show the use of bold signs on side elevations and the use of key façade places for signs. These are supported while contemporary signs detract from the streetscape.

15.9 Development in the Vicinity of Heritage Items and the Bellingen Conservation Area

Development near a heritage item can have adverse impacts on the item. This may be as a result of blocking views to and from the item, affecting trees or landscape elements that are part of the item. It can also have an adverse impact by obscuring the landmark qualities of an item.

New development in the vicinity of an item should take into consideration the importance and contribution of the item to the local streetscape or townscape. It should also ensure that important views to and from the item are not compromised and that the heritage item remains the visually dominant element within the streetscape or townscape.

In most cases, development in the vicinity of a heritage item will only affect properties that share a boundary with or are opposite a heritage item. In some cases, development in the vicinity of an item may have broader impacts. Common examples of this would be important views to and from Church spires and building elevations designed to reflect their locations on axes or view lines which may be lost by new development.

15.9.1 Setting

Setting is the area around a heritage item that contributes to its heritage significance and may include the visual catchment of a heritage item which is external to the site. Topography, trees, gardens, fencing and pavement may all contribute to the setting of a heritage item. Where a heritage item has aesthetic significance as a landmark, it is particularly important that new development does not obscure its visual presence in the streetscape and/or townscape.

Objective

- a) To ensure the setting of heritage items is not compromised by development in the vicinity of the heritage item.

- b) To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape.

Controls

- 1) The setbacks of new development in the vicinity of a heritage item should generally be equal to or greater than that of the heritage item.
- 2) Development in the vicinity of a heritage item should not be of such bulk or height that it visually dominates the heritage item.
- 3) Important views to and from a heritage item not be obscured by new development.
- 4) Where a heritage item is part of a streetscape of buildings of consistent style, form and materials, development in the vicinity of the heritage item should incorporate or interpret elements of the dominant style, form and materials in the streetscape.
- 5) Where trees are integral to the significance of the heritage item, development should not be allowed beneath the drip zone of the trees

15.9.2 Scale

Scale is the size of a building and its relationship with the surrounding buildings and landscape. Buildings of inappropriate scale in the vicinity of a heritage item can detract from its significance and contribution to the streetscape and townscape. It is important that new development at places with heritage significance respects the scale of the existing buildings and/or landscape elements that contribute to the significance of the place.

Objective

- a) To ensure that new development in the vicinity of a heritage item is of a scale that does not undermine the significance of the heritage item.

Controls

- 1) The scale of new development in the vicinity of a built heritage item should not be substantially greater than that of the heritage item.
- 2) Development of a larger scale than the heritage item is allowable only if it can be demonstrated that the new development will not detract from important views to and from the heritage item from the public realm.
- 3) New development must not obscure important views of a heritage item

15.9.3 Siting

Siting relates to the position of a building on the site and includes the orientation of the building in relation to the street as well as the setbacks of the building from the boundaries.

Setbacks define the overall footprint of a building and the outer extremities of that building in relation to the front, side and rear boundaries.

Setbacks of development in the vicinity of heritage items can be of importance in ensuring the retention of important views to and from the heritage item. In some

cases it will also be necessary to consider the potential impact of the building on important landscape elements associated with the heritage item and streetscape.

Objective

- a) To ensure that new development in the vicinity of a heritage item is sited so that it does not obscure important views to or from the heritage item.
- b) To ensure that new development in the vicinity of a heritage item does not adversely impact landscape elements that are associated with a heritage item.

Controls

- 1) The setback of new development, including alterations and additions, in the vicinity of a heritage item should ensure that important views to or from the heritage item are not adversely affected.
- 2) The setback of new development in the vicinity of a heritage item should ensure that landscape elements associated with or listed as a heritage item are adversely affected.

15.9.4 Materials and Colours

New development should take into consideration the dominant original materials of heritage items in the vicinity of the development. Materials should be selected so that attention is not drawn away from the heritage item to the new development and the heritage item remains visually dominant.

Objective

- a) To ensure that materials and colours for new development in the vicinity of a heritage item does not detract from the significance of the heritage item in the streetscape.

Control

- 1) Materials and colours for development in the vicinity of a heritage item shall be selected to avoid stark contrasts with the adjacent development where this would result in the visual importance of the heritage item being reduced.

15.10 Development in the Bellingen Conservation Area

The Conservation Area has a strong streetscape and townscape character resulting from development of a consistent style, scale, form and materials during relatively short periods. It is important to appreciate the significance of the character when considering development in the form of additions, alterations, adaptive re-use or infill. A Map of the Conservation Area documents the levels of significance of individual buildings within the Conservation Area. Heritage Inventory forms may also refer to the streetscape contribution made by individual buildings.

Bellingen Conservation Area Significance

The Bellingen Conservation Area is considered to have State significance for the distinctive qualities of the town which represent those features typical of a North Coast settlement which evolved as a river port to serve the needs of the timber

getting industry followed by dairying and light industry. The buildings within the town demonstrate the social structure of the community at the height of prosperity and convey a sense of the various elements, functions, businesses and institutions of the period. The individual distinctive characteristics of the timber and masonry buildings erected by the owners, builders and architects produced the traditional streetscape while the social history of the evolving commercial and retail uses produces a valuable social and civic record.

Components within the Conservation Area have been identified as being either 'contributory', 'neutral' or 'infill' to the significance and character of the area. Each property within the Conservation Area is mapped accordingly on Map 1. The assessment was made based on an analysis of the significance of the area and a review of the fabric within the area. The review was undertaken via a visual survey of each property located within the area.

Council property in the form of roadways, street-trees, original kerbs, public reserves, letterboxes and the like similarly contribute to the significance of the Conservation Area and will be maintained accordingly when development consent is required for works in the Conservation Area.

Categories of Significance

Controls for listed Heritage items are set out in Section 15.8. The following outlines the criteria that were used to determine if a non-listed place within the Bellingen Conservation Area may be classified as a 'contributory', 'neutral' or 'infill' place.

Contributory

The place was constructed during a period directly relating to the significance of the conservation area as identified in the statement of significance for the conservation area. The original form of the building is substantially intact or where additions have been made to the building that are visible in the main streetscape, the additions that are sympathetic with the original style and form of the building.

Neutral

The place was built during a period directly relating to the significance of the conservation area as identified in the statement of significance for the conservation area but has been substantially altered so that the original style and character of the building has been lost and the changes are unlikely to be reinstated.

Infill

The place was built in a later period than that which directly relates to or is sympathetic with the significance of the conservation area or is a detracting element from the significance of the conservation area.

A Map of the Conservation Area that documents the levels of significance of individual buildings within the Conservation Area is included at Appendix 15.1.

15.10.1 Special controls for Contributory Items

The following applies to properties that are identified as 'contributory' as shown on the map in Appendix 15.1. These buildings represent an integral component of the conservation area and generally date from the key periods of development. They generally have a high level of intactness, but may have been subject to

unsympathetic modifications that are reversible. The objective of all new work should have a focus on restoring the building's original elements and features. Guidance may be needed for material choice and colour. The objective of all new work is to be the maintenance of the building's heritage value, scale, form, significant physical fabric and character and to retain and enhance the contribution of the place to the overall character and cultural significance of the conservation area.

Performance Criteria

New work to buildings identified as 'contributory' should demonstrate the following:

- a) a focus on the restoration of original elements and features visible from the public domain;
- b) the retention of significant fabric;
- c) the removal of unsympathetic alterations and additions;
- d) the appropriate use of materials and colours;
- e) a high degree of restraint in the level of alteration to contributory fabric.

Controls

- 1) Development proposals should recognise, and where possible, enhance, the contribution of these places to the overall character and cultural significance of the conservation area.
- 2) Contributory items should not be substantially altered or demolished unless the applicant can demonstrate that the loss of the existing building will not erode the overall character and significance of the conservation area or have a cumulative effect on similar properties.
- 3) Alterations to Contributory Items should retain the character and scale of the existing building which contributes to the character and significance of the conservation area.
- 4) The original form of the building is to be respected.

15.10.2 Special Controls for Neutral Items

The following applies to buildings identified as 'neutral' as shown on Map 1. These are buildings that neither contribute nor detract from the character of the conservation area. This grouping includes buildings that may relate to the areas historic development, but have been substantially altered. In such cases restoration may be preferable to new development, depending on the building's context and significance. The objective of all new work should be to enhance these buildings where appropriate and feasible. Removal is to be justified where restoration is not proposed.

Performance Criteria

Alterations and additions to buildings identified as 'neutral' should demonstrate the following:

- a) the removal of unsympathetic alterations and additions;

- b) the appropriate use of materials and colours;
- c) a degree of restraint in the level of alteration to the buildings form.

Controls

- 1) Individual buildings as 'neutral' are to be retained and enhanced unless it can be demonstrated that their removal will not compromise the significance of the area;
- 2) Where retention is proposed the original form of the building is to be respected. Alterations and additions are not to dominate the original building form, but enhance it;
- 3) Where demolition is proposed, justification for the removal of the building is to be demonstrated in accordance with Section 15.8.7 of this chapter.

15.10.3 Special Controls for Infill Items

The following applies to buildings identified as 'infill' on Map 1. These buildings present an aesthetic intrusion to the streetscape and conservation area due to their scale, bulk, setback, setting and/or inappropriate material choice. Redevelopment of these sites is highly desirable. New development should respond to the surrounding context and generally not seek to emulate the features of the detracting building it is proposed to replace. New development that is sensitive to the heritage values and intrinsic character of the Conservation Area is encouraged.

Performance Criteria

Alterations and additions to buildings identified as 'non-contributory' should demonstrate the following:

- a) the removal of detracting elements;
- b) the enhancement of the building.

New development should:

- a) maintain opportunities for new buildings which address the character of the streetscape and Conservation Area generally;
- b) maintain the scale of existing buildings, where appropriate, or the predominant scale in the vicinity.

Controls

- 1) Any demolition application shall be accompanied by an application for the development of an appropriate replacement building.
- 2) Enhancement or replacement development is to involve the removal of detracting elements and not the repetition of them, so that the site is more responsive to the surrounding context;
- 3) New development of the site is to respond to the character and significance of the conservation area by complying with the guidelines for Infill Development in Section 15.7.3 of this Chapter. In particular:

- i. The design of new buildings should complement and not adversely impact on the design characteristics of existing heritage items and contributory items in the street, particularly adjacent to the site;
- ii. In the case of new retail/commercial buildings, the bulk of the building should be divided into narrow and vertical elements reflecting the width of traditional shopfronts and parapets. On corner lots buildings should be splayed to address the corner;
- iii. In the case of new residential buildings, these should be sympathetic to the height, proportions, roof pitches and materials of Heritage Items and Contributory Items in the streetscapes in which they appear; and
- iv. New buildings should not mimic traditional styles but rather be sympathetic in design to their context, through appropriate scale, form and materials.

15.10.4 Objectives and Controls for development in the Bellingen Conservation Area

Included in this section are a series of objectives for development in the Conservation Area and a series of specific controls setting out how to achieve them. These need to be observed in conjunction with any special controls for an item included as a result of its categorization as a listed, contributory, and neutral or infill item.

Significant buildings and settings

Objective

To provide for the retention of all the buildings that contribute to the history and significance of the area as both a commercial and residential town centre from the original plan up to circa 1945 and for the existing subdivision pattern.

Residential use

Objectives

- a) To encourage the continued use of dwellings for residential purposes and for the re-establishment of residential use within buildings originally built as dwellings;

To support the adaptive re-use of buildings for residential or other sympathetic uses where the change is supported by a Heritage Impact Statement.

Commercial use

Objectives

- a) To encourage the continued use of commercial buildings for commercial purposes and for the re-establishment of commercial use within buildings originally built as such;
- b) To support the adaptive re-use of buildings for commercial or other sympathetic uses where the change is supported by a Heritage Impact Statement.

Demolition

Objective

To enable demolition of post 1945 infill buildings in certain circumstances

Control

- 1) Any development application for demolition of a commercial building in Hyde Street must be accompanied by an application for the replacement building and a Heritage Impact Statement.
- 2) New buildings proposed in the Bellingen Conservation Area must be designed to comply with the relevant provisions of this Chapter,

Landform

Objective

To retain the dominant early topography within the conservation area and ensure that new development does not disrupt planting and drainage within the conservation area and vicinity.

Controls

- 1) Maintain the shape of the natural landform
- 2) Avoid cut and fill in the erection of new buildings and landscaping unless the design is a traditional form of construction and the impacts are sympathetic

Subdivision pattern

Objective

To retain subdivision patterns that contribute to the history and rhythm of streetscapes and townscapes in the conservation area.

Controls

- 1) Keep the existing predominant pattern of subdivision in both the residential areas and the commercial area
- 2) Allow for the re-subdivision of lots that have been amalgamated previously or along boundaries shown in pre-1935 plans
- 3) Avoid re-subdivision across the line of subdivision or by amalgamation of rear garden space unless the built form will prove similar and complementary to the existing;
- 4) Avoid development that involves the amalgamation of lots and development that cross lot boundaries unless the built form will prove similar and complementary to the existing.

Existing buildings – listed and contributory

Objective

To ensure that heritage significance is retained and conserved.

Controls

- 1) Retain and protect all structures that explain the history and contribute to the significance of the area;
- 2) Maintain and protect original and early details of historic buildings
- 3) Consider reinstatement of missing original and early details
- 4) Consider removing elements such as verandah enclosures that are not original and detract from the historic significance of the building
- 5) Consider options for adaptive re-use of the building where appropriate to ensure a practical use for the building and site
- 6) Avoid the following:
 - Painting or rendering original brick or timber walls which have not already been painted or rendered
 - Removal of stucco from buildings that were originally finished with a stucco render
 - Re-skinning brick walls
 - Over-cladding weatherboards
 - Additions to the front and sides of a building
 - Removal of traditional details except where items need replacement due to decay
 - Adding new period details where no evidence exists for such
 - Re-roofing of main building except to match the original;
 - Changing the roof form above the main building other than for reinstatement of an original form
 - Extra rooms above the original house which require changes to the existing roof height or shape in particular to the front, side and visually dominant elevations other than can be accommodated with in-plane skylights



Figure 15.17: Traditional roof plumbing elements include rolled ridge and barge flashings with spear points, ogee or smooth quad gutters and circular downpipes with soldered elbows.

Siting, setbacks and gardens

Objective

To integrate new development in the conservation area into the established pattern of the streetscape and townscape.

Controls

- 1) Maintain the historical pattern of development including the building line setting for commercial and retail buildings and the setback for standard residential streetscapes
- 2) Maintain the amenity of garden and landscape settings around existing buildings
- 3) Maintain all the features considered to be part of the heritage significance of the property including ancillary structures, site layout and planting
- 4) Keep at least 40% of residential sites for soft landscape so as to complement the heritage setting and opportunity for deep rooted planting
- 5) Keep and protect mature trees and early planting layouts
- 6) Avoid alterations and additions to the front or side of heritage buildings
- 7) Do not install air-conditioning or similar contemporary services to significant external elevations capable of being seen for the public circulation or important elevations within the site
- 8) Avoid disturbing archaeological sites without prior investigation including foundations and wells in particular

Extensions

Objective

To ensure that additions do not detract from the significance and are sympathetic and visually recessive

Controls

- 1) Maintain the visual dominance of the heritage building
- 2) Keep a consistency of scale and materials in extensions so that the new work does not detract from the heritage building, the site amenity and the streetscape
- 3) Avoid disturbing archaeological sites without prior investigation including foundations and wells in particular

New development to the rear of heritage buildings

Objective

To ensure that new development does not detract from the significance and character of significant places and remains sympathetic and visually recessive.

Controls

- 1) Keep and repeat the existing scale to ensure the new allows the existing to dominate the streetscape
- 2) Single or two storey scale will depend upon the context and extent of the interpretation between new and existing
- 3) Roofs to reflect the context such as parapets for concealed roofs, hipped or gabled reflecting the traditional nominal 30 degrees
- 4) The setback between the new and existing to be 10m minimum
- 5) Materials to be consistent with the context including rendered brick/block, comparable face brick and weatherboard with galvanised iron roof and plumbing
- 6) Avoid disturbing archaeological sites without prior investigation including foundations and wells in particular

New buildings generally

Objective

To ensure that infill development is sympathetic with the significant character of the conservation area and does not detract from that significance.

Controls

- 1) Maintain traditional uses to complement the historic use pattern where appropriate;
- 2) Maintain a scale similar and in keeping with that in the vicinity and in particular to the adjoining properties;
- 3) Utilise a common median setback or that which is traditional for the streetscape
- 4) Provide front verandahs to buildings
- 5) Provide external materials and finishes which are sympathetic to the context and allow the traditional character to dominate the streetscape
- 6) Provide signs and details consistent with traditional practice and utilise early photos to develop and appropriate scale
- 7) Avoid replica or pseudo traditional materials and details
- 8) Avoid new rear buildings which visually dominate the streetscape or exceed the height of the dominant streetscape.

Materials and Colours

Objective

To ensure that development does not detract from the significance of the heritage item and the character of the Conservation Area.

Controls

- 1) Observe the general guidelines for materials and colours within this chapter;
- 2) In relation to commercial and retail premises, research the traditional character of external colour schemes and signs available through early photographs and interpret these when providing external alterations;
- 3) Ensure that elements within the external elevations such as parapet facades and verandahs intended for signs are utilised accordingly using similar and appropriate signs and colours
- 4) Avoid applying corporate colours to large building surfaces restricting these to the traditional areas where they will be visually distinctive and allow equitable visual prominence to other commercial businesses in the area;
- 5) Avoid applying graphics to the dominant visible areas of glazed shopfronts so that the interior remains prominent
- 6) External lighting of buildings is encouraged where the fittings are concealed and the lighting is subtle

Garages, carports and ancillary buildings

Objective

To ensure that garages and carports are designed to minimise their visual impact on the streetscape of the conservation area and vicinity.

Controls

- 1) Avoid garages and carports forward of a building line
- 2) Maintain the traditional pattern of vehicle accommodation towards the rear of the site
- 3) Utilise traditional materials and lightweight structures for garages and carports and ensure that they remain visually recessive
- 4) Do not use architectural decorative features on new structures
- 5) Do not attach to the building and do not prevent light and air into the building
- 6) Driveways are to use traditional materials such as stabilised gravel, exposed aggregate or dark coloured material.

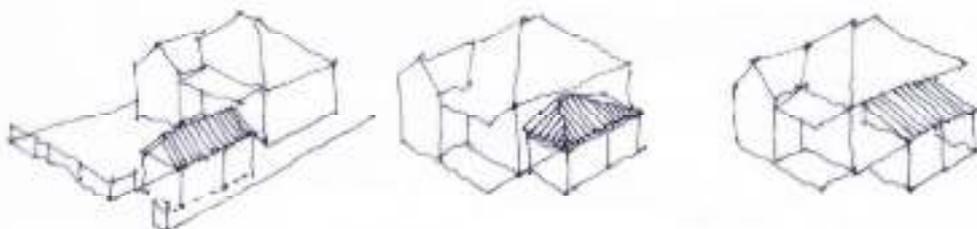


Figure 15.18: The design and detailing of car ports should interpret with replication, traditional details and use traditional materials.

Fences

Objective

To conserve the streetscape of significance within the conservation area and vicinity.

Controls

- 1) Use timber paling fencing to side and front boundaries with designs based on early photos and/or types suitable for the period of the building;
- 2) For industrial and commercial sites, use traditional timber boarded fencing to side and rear boundaries or a combination of timber post and rail with galvanised iron or equal infill;
- 3) Where wire or other metal fences are appropriate use shrubs to cover the fence;
- 4) Avoid front fences higher than 1200mm
- 5) Avoid metal clad, aluminium, steel replica and swimming pool type fencing.
- 6) Conserve original gates and fencing through maintenance and restoration.

Public lands

Objective

To ensure that public lands retain their significance in terms of their character, accessibility and function.

Controls

- 1) Retain those elements of the street in form of traditional setbacks, parks and gardens that contribute to an understanding of the origins and evolution of the area;
- 2) Avoid change that will increase vehicular traffic.
- 3) Maintain the pattern of footpaths, verges, curbing, guttering and mature street trees and associated traditional planting.
- 4) Retain existing driveway crossovers and ensure that supplementary works to provide suitable gradients and finishes are visually recessive
- 5) Private paving treatments should not extend beyond the property boundary
- 6) Avoid planting that obscures views along streets for pedestrians;
- 7) Avoid planting that obscures traditional sight lines for commercial and retail premises and streetscapes
- 8) Avoid the use of modern segmental paving which is uncharacteristic of conservation areas
- 9) Avoid introducing planting in areas which traditionally was urban and without planting.

Traffic calming and civil works

Objective

To ensure that the original civil work retains its integrity and that essential new work does not detract from the authenticity and character evident within the streetscape.

Controls

- 1) Avoid measures that involve major changes to the street alignment, pavement, curb and guttering such as chicanes, blisters, wide paved speed bumps, false concrete finishes, bollards and planters.
- 2) Use materials and colours which are not visually dominant against other original materials and finishes
- 3) Avoid the loss of original materials such as curbing, survey marks, letter receivers, engraved and marked pavements etc.

Solar panels and communications devices

Modern technologies change frequently but can include fittings such as solar electricity panels, solar hot water panels and tanks, television aerials and satellite dishes. They can be large and visually intrusive within the streetscape.

Objective

To ensure that modern technologies do not detract from the streetscape and townscape in the Conservation area.

Controls

- 1) Locate new devices on ancillary buildings such as sheds, garages and carports where possible
- 2) Avoid locating devices on the roof planes which are visible from the streetscape and public realm
- 3) Install devices on the plane of the roof and avoid supplementary structures to orient the panels and devices to another angle
- 4) Locate supplementary devices such as compressors and meters at ground level in a screened location and to suit reasonable access
- 5) Ensure that the devices are generally dark in colour and that the colour is uniform across the device
- 6) Ensure that cables and associated devices are a suitable colour and screened from the public realm.

15.11 Shire Wide Conservation Issues

15.11.1 The Cultural Landscape

Cultural landscapes are highly valued resources which provide a range of experiences and add to our quality of life. A sustainable future extends to the

conservation and enhancement of heritage values, which can be made tangible through heritage, including cultural landscapes.

Cultural landscapes include homesteads and farmlands, as well as remnant native vegetation, Aboriginal sites and places, wetlands, early settlements, disused cemeteries, and defunct industrial complexes. These cultural landscapes preserve cultural values and ecological diversity, while offering economic gain through continued agriculture and tourism and scenic and amenity value to local areas and daily life.

Cultural landscapes often also extend beyond land tenure boundaries. The identification of values within a cultural landscape should be identified firstly through historical research, and then compared to the features on the ground.

Objectives

- a) To ensure that structures associated with significant cultural landscapes in rural settings are retained and conserved,
- b) To ensure that the settings of structures within rural settings are conserved and the curtilage of the significant elements are protected,
- c) To support the adaptive re-use of structures in a sympathetic manner where the original use is no longer viable,

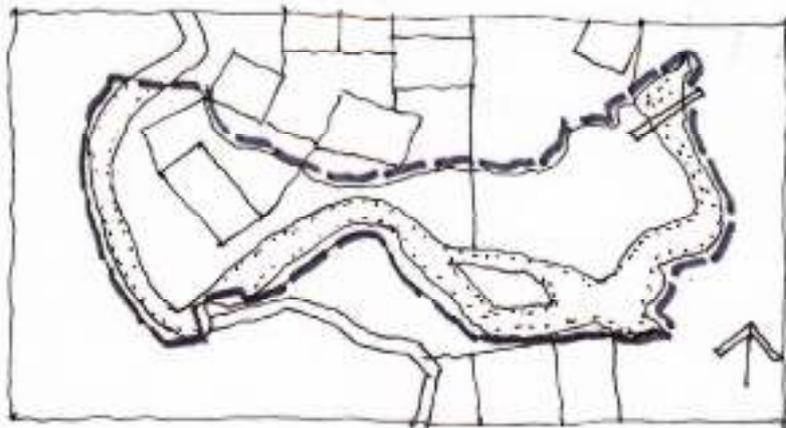


Figure 15.19: A Curtilage plan may include a lot boundary, a reduced area within the Lot, an expanded area related to views and access and a composite of the above.

Controls

- 1) Retain and conserve cultural landscape values through protecting heritage items, their associated settings and landscapes.
- 2) Consult with heritage specialists and the local community, who understand the landscape.
- 3) Use historical research to identify origins and establish significance.
- 4) Manage the setting through including relationships between heritage items, the landscape and the curtilage to ensure that cultural significance is protected.

15.11.2 Natural Heritage Principles

Natural heritage incorporates a spectrum of values, ranging from existence value at one end through to socially-based values at the other. The fundamental concept of natural heritage, which most clearly differentiates it from cultural heritage, is that of dynamic ecological processes, ongoing natural evolution, and the ability of ecosystems to be self-perpetuating. At the cultural end of the spectrum, clear separation of cultural and natural values can be difficult, and more than one layer of values may apply to the same place.

Objectives

- a) To protect places identified as having natural heritage significance
- b) To support the active conservation, sympathetic use and dynamic ecology within significant natural places

Controls

- 1) Utilise the Australian Natural Heritage Charter when dealing with an item or area that has been identified as being of natural heritage.
- 2) Address the impacts upon the significance of the place in terms of the four principles – intergenerational, existence, uncertainty and precautionary.

15.11.3 Aboriginal Heritage

Aboriginal heritage includes sites which show evidence of Aboriginal occupation as well as areas which are of contemporary, spiritual or mythological importance according to Aboriginal culture or custom, but which contain no physical remains. These two types of Aboriginal Heritage in NSW are described as Aboriginal objects and declared or gazetted Aboriginal Places. Aboriginal objects include items and remnants such as stone tools, weapons, engraving sites, midden deposits, scarred trees and sharpening grooves. Declared Aboriginal places may include natural features such as creeks or mountains, as well as initiation, ceremonial or story places or areas of more contemporary cultural significance, such as Aboriginal Missions and post contact sites.

Aboriginal people are the primary determinants of the cultural significance of their cultural heritage. People who are given information about Aboriginal history and heritage by members of any Aboriginal community must treat it with respect. Therefore, notwithstanding the statutory requirements under Section 89A of the *National Parks and Wildlife Act 1974*, any confidentiality agreements between Aboriginal people and those receiving the information should be honoured.

The principal laws which deal with Aboriginal heritage in New South Wales are the *Environmental Planning and Assessment Act 1979*, the *National Parks and Wildlife Act 1974* and the *Heritage Act 1977*.

The *National Parks and Wildlife Act 1974* provides statutory protection for Aboriginal objects and declared Aboriginal places. Areas are declared or gazetted as Aboriginal places if the Minister is satisfied that there is enough evidence to show the area is or was of special significance to Aboriginal culture.

The *Heritage Act 1977* protects the State's natural and cultural heritage, including archaeological remains. Aboriginal sites and relics are primarily cared for under the *National Parks and Wildlife Act 1974*. If an Aboriginal site or place is of great significance, the Heritage Council can list it on the State Heritage Register.

Bellingen Council has not completed an Aboriginal Heritage Study; hence there are no places of Aboriginal cultural and heritage significance on the LEP schedule of heritage items.

The assessment of DA's will have regard to the outcomes of the future Aboriginal Heritage Study including any specific controls to be observed regarding development

Objectives

- a) To support use of the LEP and Heritage Inventory for the identification and protection of places identified as having Aboriginal significance, after the significant places have been approved for listing by the aboriginal community
- b) To support the interpretation of Aboriginal cultural significance and associated places within the community after the significant places have been approved for interpretation by the Aboriginal community

Controls

Aboriginal sites in NSW are primarily protected under the *National Parks and Wildlife Act 1974*. In cases where an Aboriginal heritage site is suspected, contact should be made with the relevant office of the NSW Office of Environment and Heritage (OEH) Heritage Division. If the site is under immediate threat, urgently contact the NSW Environment Line or contact the Aboriginal Heritage Conservation Office in Heritage Division or the Aboriginal Heritage Planning Officer at in the Regional Operations Division for further advice.

Where there is evidence of Aboriginal significance in relation to a site, consultation should be undertaken with the OEH and the relevant Aboriginal community in the assessment of significance. Interpretation of places of Aboriginal significance is to be informed and developed by the Aboriginal community.

15.11.4 Archaeology

There are 84 recorded archaeological sites within Bellingen Shire.

The *NSW Heritage Act 1977* requires that when excavation of a site is likely to reveal 'relics' an application to the Heritage Division of OEH for an Excavation Permit is required. A 'relic' is defined as any object which is more than 50 years old. There is also an obligation to stop work and contact the Heritage Division if relics are discovered unexpectedly or uncovered.

While the requirements of the Heritage Act are broad in relation to 'relics' there is only an obligation where the site has been listed as an archaeological site or where a site is likely to contain relics. As a precaution, owners of listed and contributory buildings should consult Council prior to commencing development.

For archaeological sites or places with the potential for relics, the advice of an archaeologist will be required. The Heritage Division provides guidelines for archaeological assessments which are predictive studies undertaken to:

- Evaluate the probable extent, nature and integrity of the archaeological resource at a site;
- Determine the significance of that resource;

- Define the appropriate management for that resource having regard to the significance and statutory requirements.

Archaeological assessments may recommend specific actions such as:

- No further action
- Archaeological monitoring
- Archaeological excavation
- In-situ conservation

The potential to reveal relics is greatest on sites known to have been occupied by earlier buildings or structures. Previous building foundations, wells, cisterns and site drainage are the most common form of relics.

15.12 Additional Guidelines to Consider

15.12.1 Guidelines for Archival Recording

The Heritage Division of OEH provides detailed guidelines for archival recording. The records are prepared by experienced professionals and may consist of several or all of the following depending upon the circumstances.

Three copies of the document in an appropriate archival binder are prepared and submitted to Council. The first copy is retained by Council, the second is retained by the Library or Historical Society and the third copy is returned to the Applicant.

- Measured drawings of the building or structure and associated elements and aspects of significance;
- Photographs of the site, structures and aspects of significance accompanied by drawings identifying the locations of the photographs; and
- A general history of the item including research of the appropriate resources and a statement of heritage significance for the item.

15.12.2 Heritage Impact Statements and Conservation Management Plans

The Heritage Impact Statement (HIS) is to be prepared generally in accordance with the Heritage Division guidelines, available on their website and should address the requirements of this chapter including:

- a) The heritage significance of the building, place or feature, setting and contribution to the conservation area where relevant;
- b) A description of the proposed works and whether or not they are sympathetic to the significance;
- c) How any impacts of the proposal are to be reduced;
- d) All the relevant standard questions to be answered as described in the Heritage Division pro-forma for the relevant type of change proposed: demolition, minor partial demolition, change of use, minor and major additions, new development adjoining a heritage item, subdivision, re-painting, re-roofing/cladding, new services, fire upgrading, landscape, signs

- e) A contextual analysis, considering the setting and landscape and contribution to the significance of the area.
- f) All proposals for total demolition should be supported with a justification consisting of the following:
 - a report from a structural engineer detailing the structural condition of the building and the work required for an adaptive re-use;
 - an estimate from an experienced heritage builder for the re-use of the building as an alternative to the demolition; and
 - a Heritage Impact Statement

A Conservation Management Plan (CMP), where requested by Council, is to be prepared generally in accordance with the Heritage Division guidelines. The CMP states the conservation policy based on the established Heritage significance. It looks in greater detail at achieving the future viability of a heritage place and retaining the maximum heritage significance in future development proposals. A CMP would be required for projects where the significance is of a State level and for places of local significance where the project is substantial such as a large building, site or complex. It is intended that a CMP has the capacity to guide development through a number of stages.

APPENDIX

APPENDIX 15.1 – Heritage Significance Map

